ABBREVIATION	IS	
@ AT ዒ CENTERLINE	I.D. INSIDE DIAMETER INCL. INCLUDING INSUL. INSULATION INT. INTERIOR	GRAI
D PENNY # POUND OR NUMBER	INV. INVERT JAN. JANITOR	
A.B.ANCHOR BOLTA/CAIR CONDITIONINGACC.ACCESSIBLEACOUS.ACOUSTICAL	JST. JOIST JT. JOINT	
ACOUSTICAL A.C.T. ACOUSTIC TILE A.D. AREA DRAIN ADD. ADDENDUM	KIT. KITCHEN K.D. KNOCK DOWN KPL. KICKPLATE	8440 SE 8
ADJ ADJUSTABLE A.F.F. ABOVE FINISH FLOOR AGGR. AGGREGATE	LAM. LAMINATE(D) LAV. LAVATORY LD LINEAR DRAIN	
ALT. ALTERNATE AL., ALUM. ALUMINUM ANOD. ANODIZED	L.H. LEFT HAND L. LENGTH, LONG LT. LIGHT	
PPROX. APPROXIMATE RCH. ARCHITECT SPH. ASPHALT	LNTL. LINTEL LVR. LOUVER	PFRMIT SFT
.V. AUDIO/VISUAL D. BOARD TWN BETWEEN	MARB. MARBLE MAS. MASONRY MAX. MAXIMUM	
LDG. BUILDING LK. BLOCK LKG. BLOCKING	M.C. MEDICINE CABINET MECH. MECHANIC(AL) MED. MEDIUM MEMB. MEMBRANE 2	CODE COMPLIANCE:
M. BEAM M. BENCH MARK DT. BOTTOM	MEMB. MEMBRANE 2 MET. METAL MEZZ. MEZZANINE MFR. MANUFACTURE(R)	ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES
G. BEARING Z. BRONZE MT. BASEMENT	MIN. MINIMUM MISC. MISCELLANEOUS MTD. MOUNTED	(AND AMENDMENTS IN USE AT THE TIME OF APPLICATION FOR PERMIT:
U.R. BUILT UP ROOF AB. CABINET B. CATCH BASIN	MTL. MATERIAL MULL. MULLION	 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL RESIDENTIAL CODE WASHINGTON STATE AMENDMENTS
M. CEMENT R. CERAMIC G. CORNER GUARD	N. NORTH N.I.C. NOT IN CONTRACT NO. NUMBER NOM. NOMINAL	 2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL MECHANICAL CODE
AMF. CHAMFER CAST IRON P. CAST-IN-PLACE(CONCRETE)	N.T.S. NOT TO SCALE O.C. ON CENTER	 2018 UNIFORM PLUMBING CODE WASHINGTON STATE ENERGY CODES
C. CIRCLE CONTROL JOINT CEILING	O.D. OUTSIDE DIAMETER O.F.R.D. OVERFLOW ROOF DRAIN O.H. OVERHEAD	 2018 INTERNATIONAL SWIMMING POOL AND SPA CODES 2017 LIQUEFIED PETROLEUM GAS CODE 2018 NATIONAL FUEL CAS CODE
CLEAR(ANCE) J. CONCRETE MASONRY UNIT R. COUNTER / COUNTER CLEAN OUT	OPNG. OPENING OPP. OPPOSITE O.T.S. OPEN TO STRUCTURE	2018 NATIONAL FUEL GAS CODE
CLEAN OUT COLUMN C. CONCRETE I. CONNECTION	P.B. PANIC BAR P.BD. PARTICLE BOARD	<u>GENERAL CONSTRUCTION NOTES:</u>
CONNECTION T. CONSTRUCTION CONTINUOUS R. CONTRACTOR	P.C. PRECAST CONCRETE PERF. PERFORATE(D) PL. PLATE	ALL DIMENSIONS & NOTES ON THE ARCHITECTURAL DRAWINGS & ENGINEERING CALCULATIONS TAKE PRECEDENT OVER ALL GENERAL NOTES ON THIS SHEET.
CORRIDOR CARPET COURSING	P.L. PROPERTY LINE P. LAM. PLASTIC LAMINATE PLAS. PLASTER PLWD. PLYWOOD	FACTORY BUILT FIREPLACE & CHIMNEY TO BE UL LABELED AND TESTED IN ACCORDANCE TO UL 127.
CASEMENT CERAMIC TILE CENTER	PLWD. PLYWOOD PNL. PANEL PNL. PAINT P.O. PURCHASE ORDER	INSTALL PER MFR'S SPECS. OUTSIDE COMBUSTION AIR REQ'D. (MIN 6 SQ IN.) DUCTED DIRECTLY TO FIREBOX w/ OPERABLE OUTSIDE DAMPER, TIGHTLY FITTING FLUE DAMPER,AND TIGHT FITTING GLASS OR
CUBIC FOOT CUBIC YARD	P.O. PORCHASE ORDER PR. PAIR P.S.F. POUNDS PER SQ. FOOT P.S.I. POUNDS PER SQ. INCH	METAL DOÓRS OR FLUE DRAFT INDUCTION FAN.
DEMOLITION DOUBLE DEAD LOAD	PT. POINT P.T. PRESSURE TREATED PTN. PARTITION	LIMIT SHOWER FLOW TO 1.7 GPM OR LESS. LIMIT TOILETS TO 1.6 GPM OR LESS.
DETAIL DRINKING FOUNTAIN DOUBLE HUNG	PVMT. PAVEMENT P.T.D. PAPER TOWEL DISPENSER	ALL SKYLIGHTS TO COMPLY WITH I.R.C. R308.6
DIAGONAL DIAMETER DIMENSION DIVISION	R. RISER R.A. RETURN AIR RAD. RADIUS D. D. DECIMIENT DASE	ALL SIDELITES, SLIDING GLASS DOORS AND TUB/SHOWER ENCLOSURES TO COMPLY WITH I.R.C. R308.4
DIVISION DOWN DOOR DOWNSPOUT	R.B. RESILIENT BASE R.T. RESILIENT TILE R.D. ROOF DRAIN	VENT DRYER, OVEN/RANGE AND EXHAUST FANS TO OUTSIDE. DRYER EXHAUST DUCTS SHALL NOT
DRAWING DRAWER	REF. REFRIGERATOR REG. REGISTER REINF. REINFORCING REOD REOURED	EXCEED A TOTAL COMB. HORIZ. AND VERT. LENGTH OF 14'-0", INCL. TWO 90d. ELBOWS. DEDUCT 2'-0" FOR EA. 90d. ELBOW IN EXCESS OF TWO. ALL EXHAUST DUCTS TO INSULATED TO A MIN. OF R-4.
EAST EACH EXPANSION JOINT	REQ'D. REQUIRED REV. REVISION R.H. RIGHT HAND RM. ROOM	, e., e., our ledge in the location of the lateral during the insulated to a min. Of $R=4$.
ELEVATION ELECTRIC(AL) ELEVATOR	R.O. ROUGH OPENING RCP. REFLECTED CLG. PLAN	TUB/SHOWER SURROUND WALLS TO HAVE FIBER-CEMENT BACKER BOARD AND FINISHED WITH A SMOOTH
EQUAL EQUIPMENT ESTIMATE	S. SOUTH SAM SELF ADHERED MEMBRANE S.C. SOLID CORE	NON-ABSORBENT SURFACE TO A MINIMUM HEIGHT OF 72" ABOVE THE FLOOR.
EXCAVATE EXHAUST EXISTING EXPANSION	SCHED SCHEDULE S.D. STORM DRAIN SECT SECTION	PROVIDE SMOKE DETECTOR IN COMPLIANCE WITH I.R.C. R314 ALL SMOKE DETECTORS w/BATTERY BACKUP. SMOKE DETECTORS WILL SOUND AN AUDIBLE ALARM IN ALL SLEEPING ROOMS.
EXPANSION EXTERIOR FURNISHED BY OWNER	SF SQUARE FEET SH. SHELF SHT SHEET	PROVIDE CARBON MONOXIDE DETECTOR IN COMPLIANCE WITH I.R.C. R315 OUTSIDE OF
C. FURNISHED BY OWNER INSTALLED BY CONTRACTOR D. FURNISHED BY OWNER INSTALLED BY OWNER	SHT'G SHEATHING SIM SIMILAR SL. SLOPE SP STAND PIPE	EACH SEPARATE SLEEPING AREA AND IN THE IMMEDIATE VICINITY OF ALL BEDROOMS. CARBON MONOXIDE DETECTOR SHALL MEET UL LISTING 2034 AND BE INSTALLED PER MFG LISTING.
FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER CABINET	SP STAND PIPE SPEC SPECIFICATION SQ SQUARE S.S. STAINLESS STEEL	EGRESS WINDOWS AT ALL BEDROOMS SHALL CONFORM TO THE FOLLOWING CRITERIA PER I.R.C. R310:
FINISHED FLOOR FINISH(ED) FLOOR	STD STANDARD STL STEEL STOR STORAGE	MINIMUM NET CLEAR HEIGHT SHALL BE 24". MINIMUM NET CLEAR WIDTH SHALL BE 20". MAXIMUM FINISHED SILL HEIGHT ABOVE FLOOR SHALL BE 44". WHERE THE SILL OF A WINDOW IS GREATER THAN 72
LASHING LUORESCENT ACE OF STUDS	STRUCT STRUCTURAL SUSP. SUSPENDED	ABOVE FINISH GRADE OR SURFACE BELOW THE MINIMUM SILL HEIGHT ABOVE FINISH FLOOR SHALL BE 24' (R312.2.1).
FACE OF CONCRETE FACE OF FINISH FACE OF BRICK	T. TREAD T.B. TOWEL BAR TD TRENCH DRAIN	FIRE STOPS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS FROM VERTICAL TO HORIZONTAL SPACES, INCLUDING THE STAIR, TUB, SHWR, FIREPLACE, ETC. PER I.R.C. R302.11.
FACE OF MASONRY FIREPROOF FOOT, FEET FOOTING	TEMP. TEMPERED TERR. TERRAZZO T.&G. TONGUE AND GROOVE	
FOOTING FURRED, FURRING FUTURE FIBERGLASS REINF. GYPSUM	THK. THICK(NESS) THRESH. THRESHOLD T.JT. TOOLED JOINT TKBD TACKBOARD	<u>ASSUMED DESIGN LOADS</u>
FABRIC WALLCOVERING GAGE	TKBD. TACKBOARD T.O.B. TOP OF BRICK TV. TELEVISION TYP TYPICAI	ALL ASSUMED DESIGN LOADS ARE PER THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE (UNLESS NOTED BY ENGINEER)
GALVANIZED GRAB BAR GENERAL	TYP. TYPICAL T.O.C. TOP OF CONCRETE T.O.S. TOP OF STL.	UNIFORM SNOW LOAD 40 PSF
GLASS, GLAZING GROUND GRADE, GRADING	UNFIN. UNFINISHED U.O.N. UNLESS OTHERWISE NOTED	SEISMIC ZONE CATEGORY D
GYPSUM WALL BOARD GYPSUM GLASS FIBER REINF. CONC.	V.B. VAPOR BARRIER VCT VINYL COMPOSITION TILE VEN. VENEER	WEATHERING MODERATE
HOSE BIBB HOLLOW CORE	VER. VERIFY VERT. VERTICAL VEST. VESTIBULE	FROST LINE DEPTH18"TERMITE INFESTATION RISKSLIGHT TO MODERATE
HEAD HARDBOARD HEADER HARDWOOD	V.I.F. VERIFY IN FIELD V.G. VERTICAL GRAIN	RISK OF DECAY SLIGHT TO MODERATE
HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL	W. WEST, WIDE W/ WITH W.C. WALL COVERING	WINTER DESIGN TEMPERATURE22° FFLOOD HAZARD INDEXMAY 12, 1974 - AMENDED NOV 9 1999
HORIZONTAL HOUR HEIGHT HEATING	WD. WOOD W.H. WATER HEATER W/O WITHOUT W.R.B. WATER RESISTANT BARRIER	AIR FREEZING INDEX 170
HEATING HEATING/VENTILATING/ AIR CONDITIONING HOT WATER HEATER	W.R.B. WATER RESISTANT BARRIER WSCT. WAINSCOT WT. WEIGHT W.W. WELDED WIRE	MEAN ANNOAL TEMPERATORE ST F
		VICINITY MAP
		LESCHI WEST BELLEVUE
BUG	DRAWING NUMBER	ROANDRE Luther Burbank Park
SECTION/	SECTION —— DESIGNATION —— DRAWING	Burbank Park Beaux Arts Village
	NUMBER	Billion de Corponate Office
	SEE TITLE BLOCK	SE 40th St Mercer Island
N	FOR REVISION. MOST RECENT REVISION SHOWN	Genesee Park and Playfield
	CLOUDED.	ER VISTA
		L S Dreas St
R ELEVATION 4 A8.1 2		S Orces St HILLMAN CITY Seward Park
M ROOM NAME		NEW HOLLY
NING NUMBER (200A)	FLOOR ASSEMBLY	RAINIER VALLEY
L/PARTITION TYPE 5A	TYPE A ROOF ASSEMBLY	BEACON HILL BEACON HILL BEACON HILL SIAND SI
\sim	ТҮРЕ 🕛	

GRANBOIS RESIDENCE 8440 SE 82ND STREET MERCER ISLAND, WA 98040



PLUMBING / MECHANICAL / ELECTRICAL INSTALLATION

ALL PLUMBING. MECHANICAL AND ELECTRICAL PERMITS SHALL BE OBTAINED SEPARATELY FROM THE BUILDING PERMIT AS NECESSARY AND SHALL BE APPLIED FOR BY THE APPROPRIATELY LICENSED SUBCONTRACTOR DIRECTLY.

TUB WASTE OPENINGS IN FRAMED CONSTRUCTION TO CRAWL SPACES AT OR BELOW THE FIRST FLOOR SHALL BE PROTECTED BY THE INSTALLATION OF APPROVED METAL COLLARS OR METAL SCREEN SECURELY FASTENED TO THE ADJOINING STRUCTURE WITH NO OPENING GREATER THAN 1/2 INCH (12.7mm) IN THE LEAST DIMENSION PER UPC 313.12.4

THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATH TUB AND WHIRLPOOL BATH TUB FILLER SHALL BE LIMITED TO 120° FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION PER UPC 414.5

GAS-FIRED FURNACES INSTALLED WITHIN THE INTERIOR THERMAL ENVELOPE SHALL BE DIRECT-VENTED OR 94% EFFICIENT, UNLESS INSTALLED IN A ROOM OR SPACE THAT OPENS ONLY INTO A BEDROOM OR BATHROOM, AND SUCH ROOM OR SPACE IS USED FOR NO OTHER PURPOSE AND IS PROVIDED WITH A SOLID WEATHER-STRIPPED DOOR EQUIPPED WITH AN APPROVED SELF-CLOSING DEVICE PER IRC G2406.2 ALL COMBUSTION AIR SHALL BE TAKEN DIRECTLY FROM THE OUTDOORS IN ACCORDANCE WITH SECTION G2407.6, AND SAID ROOM OR SPACE SHALL BE INSULATED PER WSEC.

ENERGY CODE REQUIREMENTS

SHALL COMPLY WITH THE CURRENT EDITION OF THE WSEC PRESCRIPTIVE REQUIREMENTS LARGE DWELLING UNIT: GREATER THAN 5,000 S.F. 7 CREDITS

	, encentre
TABLE R406 OPTIONS	
SYSTEM TYPE = OPTION 2 (HEAT PUMP)	1.0 CREDITS
EFFICIENT BUILDING ENVELOPE = OPTION 1.3	0.5 CREDITS
AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION = OPTION 2.3	1.5 CREDITS
HIGH EFFICIENCY HVAC EQUIPMENT = OPTION 3.5	1.5 CREDITS
HIGH EFFICIENCY HVAC DISTRIBUTION = OPTION 4.2	1.0 CREDITS
EFFICIENT WATER HEATING = OPTION 5.4	1.5 CREDITS
TOTAL PROVIDED	7 CREDITS

SEE SUBMITTED ENERGY FORMS FOR MORE DETAILS

A RESIDENTIAL ENERGY CERTIFICATE COMPLYING WITH (WSEC 401.3) IS REQUIRED TO BE COMPLETED BY THE DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3 FEET OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.

AIR LEAKAGE TESTING (WSEC 402.4.1.2) SHALL BE PERFORMED IN THE PRESENCE OF THE BUILDING OFFICIAL OR THEIR DULY APPOINTED REPRESENTATIVE. THE RESULTS SHALL BE RECORDED ON THE ENERGY COMPLIANCE CERTIFICATE.

AIR LEAKAGE SHALL BE REDUCED TO A MAXIMUM OF 5 AIR CHANGES PER HOUR (PER R402.1.2 OF 218 WSEC), AND THE WHOLE HOUSE VENTILATION REQUIREMENTS SHALL BE MET WITH A HEAT RECOVERY VENTILATION SYSTEM WITH MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.70.

ALL DUCTS AND AIR HANDLERS AND FILTER BOXES SHALL IN ACCORDANCE WITH (WSEC 403.2.1 THROUGH 403.2.3). JOINTS AND SEAMS SHALL COMPLY WITH THE CURRENT I.R.C. AND I.M.C. A DUCT LEAKAGE TEST SHALL BE PERFORMED BY A QUALIFIED TECHNICIAN AND A DUCT LEAKAGE AFFIDAVIT SHALL BE POSTED NEXT TO THE ELECTRICAL PANEL.

AT LEAST 90% OF ALL INTERIOR LUMINARIES AND ALL EXTERIOR LUMINARIES SHALL BE HIGH EFFICACY (WSEC 404.1). HIGH EFFICACY LUMINARIES ARE DEFINED AS, A LIGHTING FIXTURE THAT DOES NOT CONTAIN A MEDIUM SCREW BASE SOCKET (E24/E26) AND WHOSE LAMPS OR OTHER LIGHT SOURCE HAVE A MINIMUM EFFICIENCY OF, 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS, 50 LUMENS PER WATT FOR LAMPS OVER 15 WATTS AND UP TO 40 WATTS. 40 LUMENS PER WATT FOR LAMPS OF 15 WATTS OR LESS.

LUMINAIRES PROVIDING OUTDOOR LIGHTING (WSEC 505.2) AND PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES UNLESS CONTROLLED BY A MOTION SENSOR WITH INTREGAL PHOTOCONTROL PHOTOSENSOR.

HOT WATER TANK WILL HAVE A MINIMUM E.F. OF 0.91 IN ACCORDANCE TO WSEC TABLE 406.2 ENERGY CREDIT OPTION 56 AND SHALL BE LABELED PER ASHRAE STD. NO. 90A-80,

EACH DWELLING UNIT IS REQUIRED TO HAVE AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE.

April 7, 2023

VENTILATION / AIR QUALITY REQUIREMENTS: SOURCE SPECIFIC VENTILATION REQUIREMENTS

• BATHROOMS AND POWDER ROOM FANS TO BE 50 CFM. KITCHEN EXHAUST FANS TO BE 100 CFM. -EXHAUST FANS SHALL BE FLOW RATED AT .25 W.G. STATIC PRESSURE

• EXHAUST DUCTS SHALL:

-BE INSULATED TO R-4 IN UNCONDITIONED SPACE -BE EQUIPPED WITH A BACKDRAFT DAMPER -TERMINATE OUTSIDE THE BUILDING -COMPLY WITH M1505.4.4(2) PER 2018 IRC

FAN CFM	MAX FLEX DIA.	MAX FT.	MAX SMOOTH DIA.	MAX FT.
50	4"	25'	4"	70'
50	5"	90'	5"	100'
50	6"	+100'	6"	+100'
80	4"	not allowed	4"	20'
80	5"	15'	5"	100'
80	6"	90'	6"	+100'
100	5"	not allowed	5"	50'
100	6"	15'	6"	+100'
125	6"	15'	6"	+100'
125	7"	70'	7"	+100'

WHOLE HOUSE VENTILATION REQUIREMENTS:

- AN INTERMITTENT WHOLE HOUSE EXHAUST FAN SHALL BE LOCATED IN THE CEILING AND SHALL BE SIZED TO PROVIDE THE MINIMUM VENTILATION RATE SPECIFIED IN TABLE M1507.3.3 (1)
- EXHAUST FANS MUST BE FLOW RATED AT .25 W.G. AND MAX. 1.0 SONE RATING.
- AIR LEAKAGE SHALL BE REDUCED TO A MAXIMUM OF 2 AIR CHANGES PER HOUR, AND THE WHOLE HOUSE VENTILATION REQUIREMENTS SHALL BE MET WITH A HEAT RECOVERY VENTILATION SYSTEM WITH MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.70. IN ACCORDANCE WITH WSEC TABLE 406.2 ENERGY CREDIT OPTION 2b.
- A READILY ACCESSIBLE 24 HOUR CLOCK TIMER SHALL BE INSTALLED AND WIRED TO REGULATE THE WHOLE HOUSE EXHAUST FAN. THE TIMER SHALL BE SET TO CYCLE THE FAN AT LEAST 180 MIN. EVERY 4 HOURS AND THE CYCLE "RUN TIME" SHALL PROVIDE ENOUGH VENTILATION DURING THAT PERIOD TO EQUAL THE CONTINUOUS VENTILATION RATE PER TABLE M1507.3.3 (1).
- INTERIOR DOORS SHALL BE INSTALLED SO AS NOT TO IMPEDE THE MOVEMENT OF FRESH AIR TO ALL HABITABLE ROOMS (1/2" UNDERCUT U.N.O.).
- AN AIR TRANSFER GRILLE SHALL BE PROVIDED ABOVE OR WITHIN UTILITY ROOM DOOR TO PROVIDE SUFFICIENT MAKE-UP AIR FOR EXHAUST AS REQUIRED
- OUTDOOR AIR INLETS SHALL BE LOCATED IN EACH HABITABLE ROOM AND PROVIDE AT LEAST 4 SQUARE INCHES OF FREE AREA OPENING. INLETS SHALL BE SCREENED AND SHALL NOT DRAW AIR FROM PROHIBITED LOCATIONS LISTED UNDER IRC M1602.2.

WHOLE HOUSE VENTILATION CALCULATIONS:

HEATED SQUARE FOOTAGE = 6,365

NUMBER OF BEDROOMS = 5

MIN. VENTILATION RATE PER TABLE M1505.4.3 (1) = 120

CALCULATION PER M1505.4.3 $(2) = 120 \times 1.3 = 156$

PROVIDE A WHOLE-HOUSE FAN WITH THE MINIMUM CAPACITY OF 156 CFM THAT OPERATES FOR 160 MINUTES EVERY 4 HOUR CYCLE

MOISTURE CONTROL

WALLS SEPARATING CONDITIONED SPACES FROM UNCONDITIONED SPACES SHALL HAVE A VAPOR RETARDER INSTALLED ON THE WARM SIDE OF THE WALL USING FACE INSULATION OR FRICTION FIT WITH 6MIL POLYETHYLENE OR CLASS III VAPOR RETARDER PVA. (I.R.C. R702.7.1)

SEAL, CAULK, GASKET, FLASH OR WEATHER STRIP: AROUND WINDOW AND DOOR FRAMES (PER MFG INSTALLATION SPECIFICATIONS), AT EXTERIOR JOINTS, OPNG'S BTWN WALL AND ROOF AND WALL PANELS, OPNG'S AT UTILITY PENETRATIONS THROUGH WALLS, FLOORS, AND ROOFS, ALL OTHER OPNG'S IN BLD'G ENVELOPE.

CATHEDRAL CEILING (NO ATTIC) - VAPOR RETARDER SHALL HAVE A DRY CUP PERM RATE OF 1.0 OR

ALL EXTERIOR DOORS OR ACCESS HATCHES TO ENCLOSED UNHEATED AREAS MUST BE WEATHER STRIPPED.

NOTE: INSTALLATION OF A NFPA 13R FIRE SPRINKLER SYSTEM IS REQUIRED. WATERFLOW MUST BE MONITORED BY A CENTRAL STATION OR ALARM COMPANY.

A0.1 PROJECT INFORMATION A1.1 SITE PLAN CIVIL 1 of 3 UTILITY PLAN 2 of 3 TSEC PLAN 3 of 3 DETAILS ARBORIST L-1 REPLANTING PLAN ARCHITECTURAL A2.1 BASEMENT FLOOR PLAN A2.2 MAIN FLOOR PLAN A2.3 UPPER FLOOR PLAN A2.4 ARCHITECTURAL ROOF PLAN A3.1 EXTERIOR ELEVATIONS A3.2 EXTERIOR ELEVATIONS A4.1 BUILDING SECTIONS A6.1 STAIR DETAILS A7.1 WATER INTRUSION DETAILS A7.2 DOOR & WINDOW DETAILS STRUCTURAL S-0 COVER SHEET S-1 GENERAL STRUCTURAL NOTES

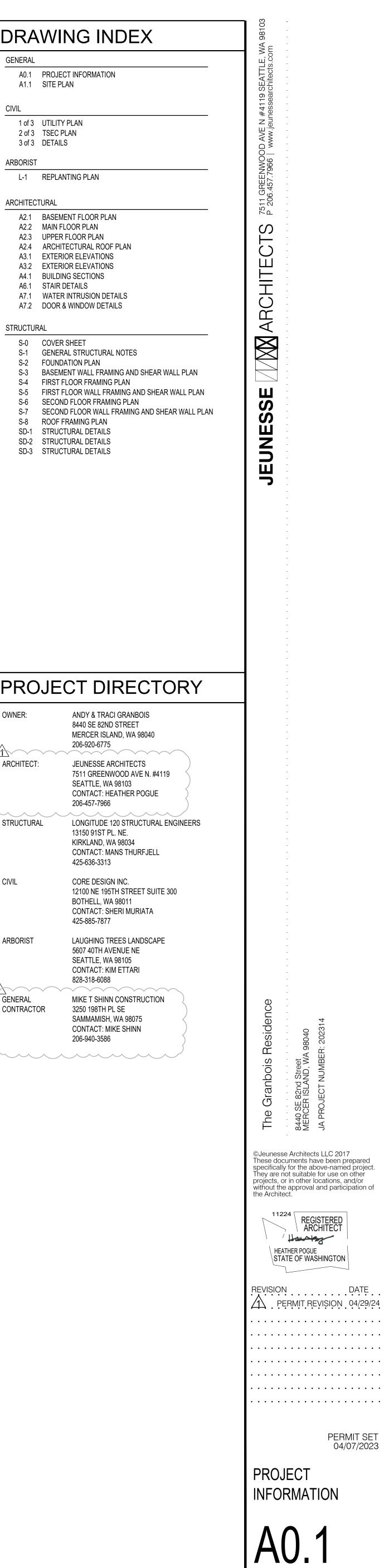
DRAWING INDEX

GENERAL

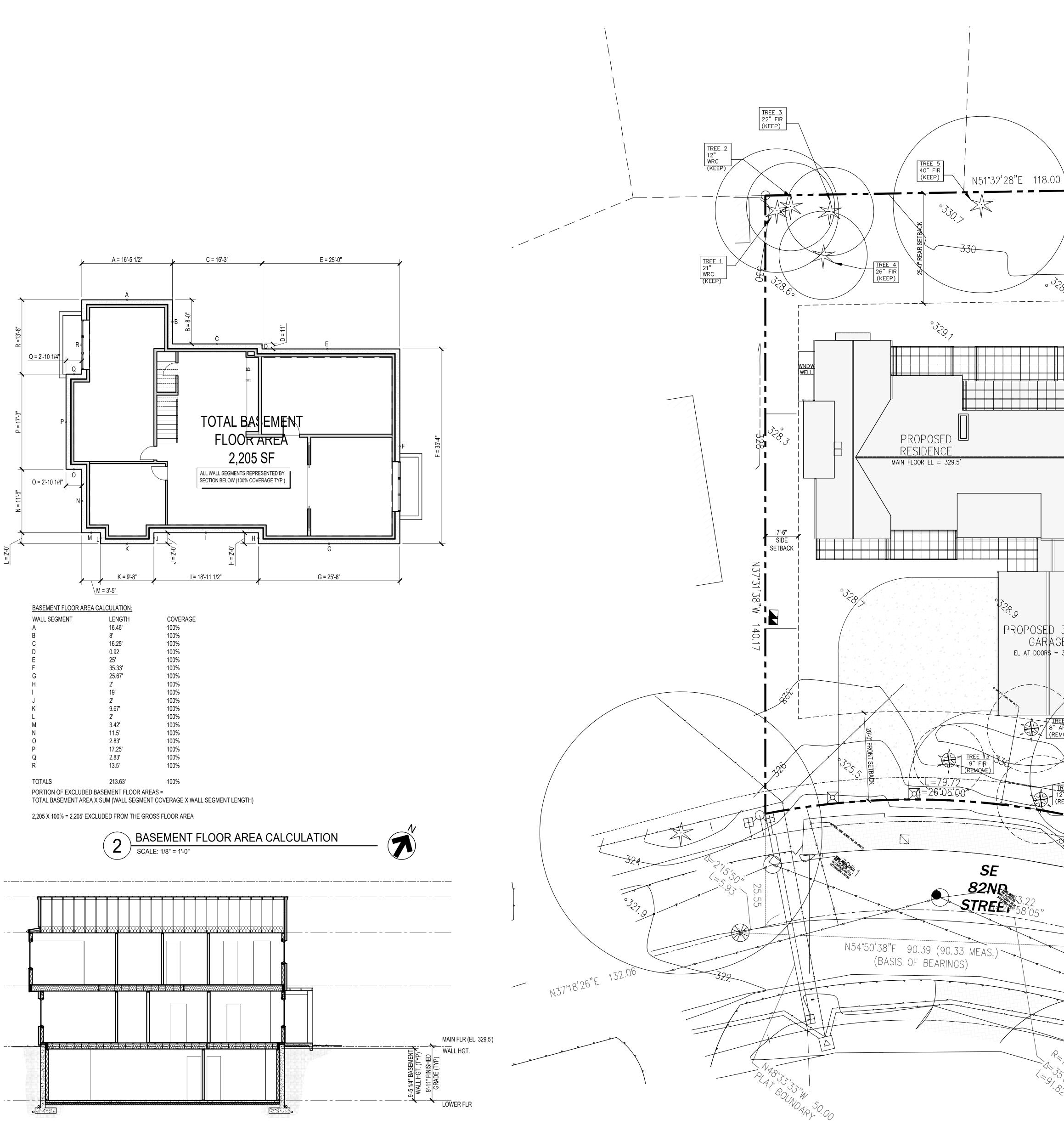
- S-2 FOUNDATION PLAN S-3 BASEMENT WALL FRAMING AND SHEAR WALL PLAN
- S-4 FIRST FLOOR FRAMING PLAN
- S-5 FIRST FLOOR WALL FRAMING AND SHEAR WALL PLAN S-6 SECOND FLOOR FRAMING PLAN
- S-7 SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN S-8 ROOF FRAMING PLAN
- SD-1 STRUCTURAL DETAILS
- SD-2 STRUCTURAL DETAILS SD-3 STRUCTURAL DETAILS

PROJECT DIRECTORY

OWNER:	ANDY & TRACI GRANBOIS 8440 SE 82ND STREET MERCER ISLAND, WA 98040 206-920-6775
ARCHITECT:	JEUNESSE ARCHITECTS 7511 GREENWOOD AVE N. #4119 SEATTLE, WA 98103 CONTACT: HEATHER POGUE 206-457-7966
STRUCTURAL	LONGITUDE 120 STRUCTURAL E 13150 91ST PL. NE. KIRKLAND, WA 98034 CONTACT: MANS THURFJELL 425-636-3313
CIVIL	CORE DESIGN INC. 12100 NE 195TH STREET SUITE : BOTHELL, WA 98011 CONTACT: SHERI MURIATA 425-885-7877
ARBORIST	LAUGHING TREES LANDSCAPE 5607 40TH AVENUE NE SEATTLE, WA 98105 CONTACT: KIM ETTARI 828-318-6088
GENERAL CONTRACTOR	MIKE T SHINN CONSTRUCTION 3250 198TH PL SE SAMMAMISH, WA 98075 CONTACT: MIKE SHINN 206-940-3586



PERMIT SET 04/07/2023



BASEMENT WALL SEGMENT TYPICAL SECTION 3

SCALE: 1/8" = 1'-0"

SITE PLAN SCALE: 1" = 10'-0"

		CENTERL
		X FENCE
		SS SIDE SEW P GAS LINE
	, · · ·	U UTILITY LI
		W WATER LI
	/ /	PROPERT
	/ /	SETBACK
	/ /	EXISTING
	/ /	STRUCTU
TREE 15 25" WRC		STRUCTU
(KEEP)		LEGAL DESCRIPTION
TREE 14 20" WRC		ISLAND POINT ADD #2 AND UND INT IN COMMUNITY
		ADDRESS
°&> \\\		8440 SE 82nd St, Mercer Island, WA. 98040
		PARCEL NUMBER
		TAX PARCEL: #362560-0120
° >\		ZONING SUMMARY
3.0 °3.0 °3.0 °3.0 °3.0 °3.0 °3.0 °3.0 °		ZONING CODE: CITY OF MERCER ISLAND MU TITLE 19 UNIFIED LAND DEVE
·.g		UNDERLYING ZONE: R-9.6 (RESIDENTIAL SINGLE-F
		LOT AREA: 13,806 SF
		LOT COVERAGE:
	$\begin{array}{c c} \hline \hline$	MAXIMUM COVERAGE: 40 % 13,806 X 0.40 = 5,522 SF MAX
		MAIN STRUCTURE ROOF AREA: VEHICULAR USE
	$\frac{1}{1}$	(DRIVEWAY, PAVED ACCESS, UNCOVERED WA COVERED DECKS & PATIOS: TOTAL PROJECT IMPERVIOUS AREA:
	//(KEEP)	PROPOSED LOT COVERAGE:
		GROSS FLOOR AREA: MAX ALLOWED GFAR: 40%
		13,806 X 0.40 = 5,522 SF MAZ BASEMENT
		MAIN FLOOR: UPPER FLOOR (NET):
	TREE 8	GARAGE: PROPOSED GFAR*:
	12" PAC. DOGWOOD (DEAD-	*BASEMENT AREA EXCLUDED FROM GFA PER MICC 19 DIAGRAMS)
WNDW	REMOVE)	HEIGHT LIMIT: 30'
WELL N.	TREE 9 15" PAC	YARDS: FRONT: 20' REAR: 25'
	15" PAC. DOGWOOD (REMOVE)	SIDE: TOTAL SUM: 15', MIN. HARDSCAPE:
		MAX ALLOWABLE = 9% NEW HARDSCAPE (WALKWAYS, WINDOW
°329.0 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		WELLS AND UNCOVERED PATIOS) = 4.1%
		AVERAGE BUILDING ELEVATION
1 / page		MIDPOINT WALL SEGMENT ELEV LENGTH
		A 329.0 a 16.46' B 329.0 b 8'
3 CAR /°329.01/		C 329.0 c 16.25' D 329.0 d 0.92'
GE /		E 329.0 e 25' F 329.0 f 35.33'
7'-6" / / / / SIDE		G 328.5 g 25.67' H 328.5 h 2'
I SETBACK		l 328.5 i 19' J 329.0 j 2'
		K 329.0 k 9.67' L 329.0 l 2'
		M 329.0 m 3.42' N 328.5 n 11.5'
REE 11 APPLE REMOVE		O 328.5 O 2.83' P 328.5 p 17.25'
		Q 329.0 q 2.83' R 329.0 r 13.5'
->		
TREE 12		TOTAL MIDPOINT x LENGTH = 70,245.16 TOTAL WALL LENGTH = 213.63'
12" PINE 31" (REMOVE) (KE	FIR	70,245.16 / 213.63 = 328.82'
		AVERAGE BUILDING ELEVATION = 328.82'
		MAX BUILDING HEIGHT = 328.82' + 30' = <u>358.82'</u> HOME BUILDING HEIGHT = <u>356.10' (</u> REF. ELEVATIO
		TREE & LANDSCAPINO
°322.2 N	<i>326</i>	1. SEE ARBORIST REPORT FOR TREE RETENTION TREE TYPE & SIZE.
55	~	2. DEVELOPMENT PROPOSALS FOR A NEW SIN SHALL REMOVE JAPANESE KNOTWEED (POL
$-\frac{1}{2}$		AND REGULATED CLASS A, REGULATED CLA CLASS C WEEDS IDENTIFIED ON THE KING C LIST, AS AMENDED, FROM REQUIRED LANDS ESTABLISHED PURSUANT TO SUBSECTION 1
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¥ 53	<i>,</i>	INCREASED SLOPE INSTABILITY OR RISK OF EROSION.
the state of the s		TREES TO BE REMOVED
	$R_{=10}$	
	$\begin{array}{l} R = 1250, 00\\ \Delta = 17^{\circ} \cdot 30^{\circ}, 00\\ L = 381.79 \end{array}$	SITE PLAN NOTES
	~=381.79"	1. ALL ROOF OVERHANGS UNDER 36" EXEMPT
35.00		2. ALL WORK IN THE RIGHT OF WAY WILL BE PE WITH SDOT.
$\begin{array}{c} & & & & \\ & & & \\ & & & \\ \end{array}$		3. NO DAMAGE OR REMOVAL OF EXISTING TRE INCLUDES STOCKPILING MATERIALS, STAGIN
		ACTIVITY THAT MAY OCCUR ON SITE.4. STRUCTURES ON SITE PLAN ARE SHOWN IN
		CLARITY AND LOT COVERAGE. REFERENCE INTERIOR SCOPE OF WORK.
		5. PROVIDE DRAINAGE SWALE @ HOUSE PERI DRAINAGE AWAY FROM RESIDENCE AND AW
		PROPERTIES.

SITE PLAN LEGEND CENTE _____ X _____ FENCE _____ SIDE SE _____ SS GAS LIN UTILITY _____ U ------ WATER _____ W PROPER SETBAC (\bigstar) EXISTING

EGAL DESCRIPTION

ADDRESS

PARCEL NUMBER

AX PARCEL: #362560-0120 ZONING SUMMARY ONING CODE: CITY OF MERCER ISLAND MU TITLE 19 UNIFIED LAND DEV NDERLYING ZONE: R-9.6 (RESIDENTIAL SINGLE-T AREA:

GROSS FLOOR AREA:

ARDSCAPE: MAX ALLOWABLE = 9%

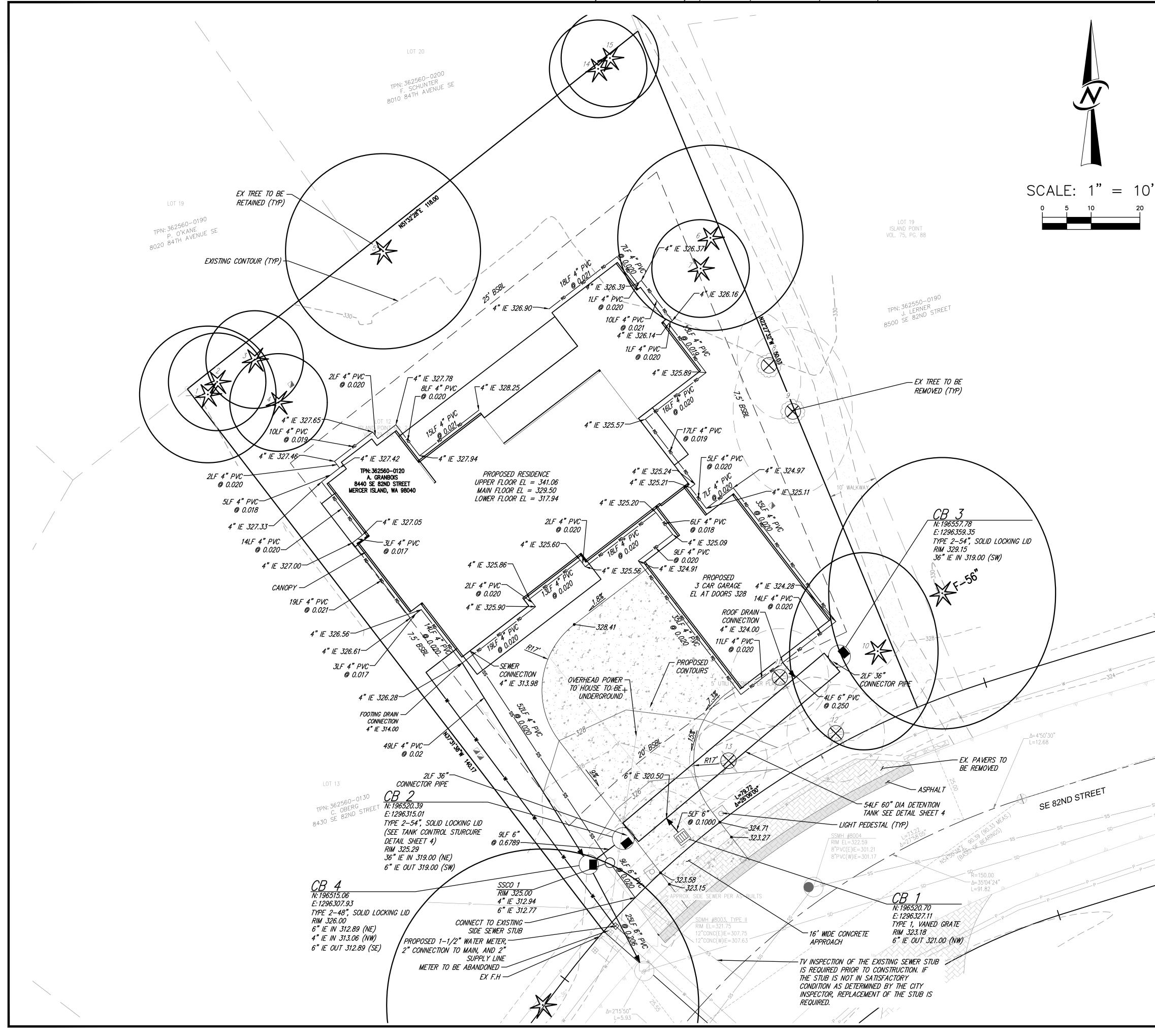
AVE	RAGE BU	ILDING EL	EVATION		
MIDF	POINT		WAL	L SEGMEN	
ELE\	/		LEN	LENGTH	
А	329.0		а	16.46'	
В	329.0		b	8'	
С	329.0		С	16.25'	
D	329.0		d	0.92'	
Е	329.0		е	25'	
F	329.0		f	35.33'	
G	328.5		g	25.67'	
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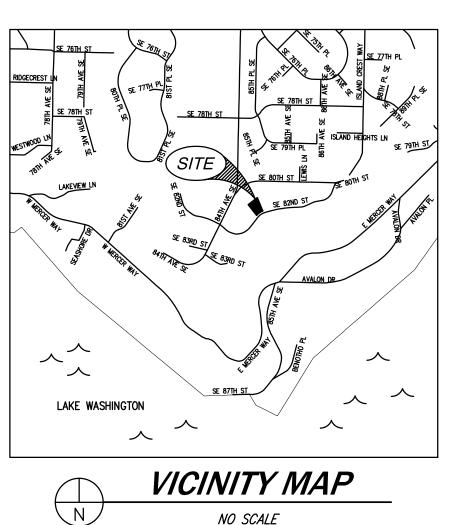
FREE & LANDSCAPIN SEE ARBORIST REPORT FOR TREE RETENT TREE TYPE & SIZE. DEVELOPMENT PROPOSALS FOR A NEW SIN SHALL REMOVE JAPANESE KNOTWEED (PO AND REGULATED CLASS A, REGULATED CL/ CLASS C WEEDS IDENTIFIED ON THE KING O LIST, AS AMENDED, FROM REQUIRED LANDS ESTABLISHED PURSUANT TO SUBSECTION

SITE PLAN NOTES

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- STRUCTURES ON SITE PLAN ARE SHOWN IN CLARITY AND LOT COVERAGE. REFERENCE INTERIOR SCOPE OF WORK.
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- PRIOR TO STAKING FOUNDATION, A LICENS VERIFY THAT THE DIMENSIONS SHOWN ON DESIGNER'S FOUNDATION PLAN PROPERL DISCREPANCY SHALL BE IMMEDIATELY RE PRIOR TO PRECEDING WITH THE WORK.

RLINE OF ROW EWER NE (LINE LINE RTY LINE CK LINE NG TREE TURE TURE ON ADJ. PROPERTY ITY TR ITY TR MUNICIPAL CODE E-FAMILY)	JEUNESSE ARCHITECTS P 206.457.7966 www.jeunessearchitects.com
MAX. COVERAGE ALLOWED 3,490 SF NALKS): 1,425 SF 554 SF 5,469 SF 39.6 %	
MAX. COVERAGE ALLOWED N/A 2,260 SF 2,510 SF 690 SF 5,460 SF 39.55 % C 19 APPENDIX B (REF.	
IN. WIDTH: 5' 1,242.5 S.F. 560 S.F.	
MIDPOINT x LENGTH (Axa) 5,415.34 2,632 5,346.25 302.68 8,225 11,623.57 8,432.60 657 6,241.5 658 3,181.43 658 1,125.18 3,777.75 929.66 5,666.63 931.07 4,441.5 70,245.16	is Residence et WA 98040 MBER: 202314
TION SHEETS)	The Granbois Residen 8440 SE 82nd Street MERCER ISLAND, WA 98040 JA PROJECT NUMBER: 202314
IG NOTES ITION CALCULATIONS, SINGLE-FAMILY HOME OLYGONUM CUSPIDATUM) ELASS B, AND REGULATED COUNTY NOXIOUS WEED DSCAPING AREAS N 19.02.020(F)(3)(A). NEW NGLE-FAMILY HOME SHALL ED ON THE KING COUNTY VIDED, THAT REMOVAL AL WILL RESULT IN OF LANDSLIDE OR	CJeunesse Architects LLC 2017 These documents have been prepared specifically for the above-named project. They are not suitable for use on other projects, or in other locations, and/or without the approval and participation of the Architect. 11224 REGISTERED ARCHITECT HEATHER POGUE STATE OF WASHINGTON
	REVISION DATE
PT FROM LOT CALCS. PERMITTED SEPARATELY REES WILL OCCUR; THIS GING, OR ANY OTHER IN OUTLINE ONLY FOR CE FLOOR PLANS FOR	PERMIT SET 04/07/2023
RIMETER FOR SITE AWAY FROM ADJACENT ISED SURVEYOR MUST N ARCHITECT'S/ LY CLOSE. ANY EPORTED TO DESIGNER	SITE PLAN





NO SCALE

OWNER

ANDREW AND TRACI GRANDBOIS

LEGAL DESCRIPTION

LOT 12, ISLAND POINT NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 79 OF PLATS, PAGE(S) 18 AND 19, RECORDS KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

SITE STATISTICS

SETBACKS: ZONE: FRONT: REAR: SIDE: SITE ADDRESS:

R-9.6 20' 25' 5.5'/11.2' 8440 SE 82ND ST, MERCER ISLAND, WA 98040 362560-0120

TAX PARCEL NUMBER:

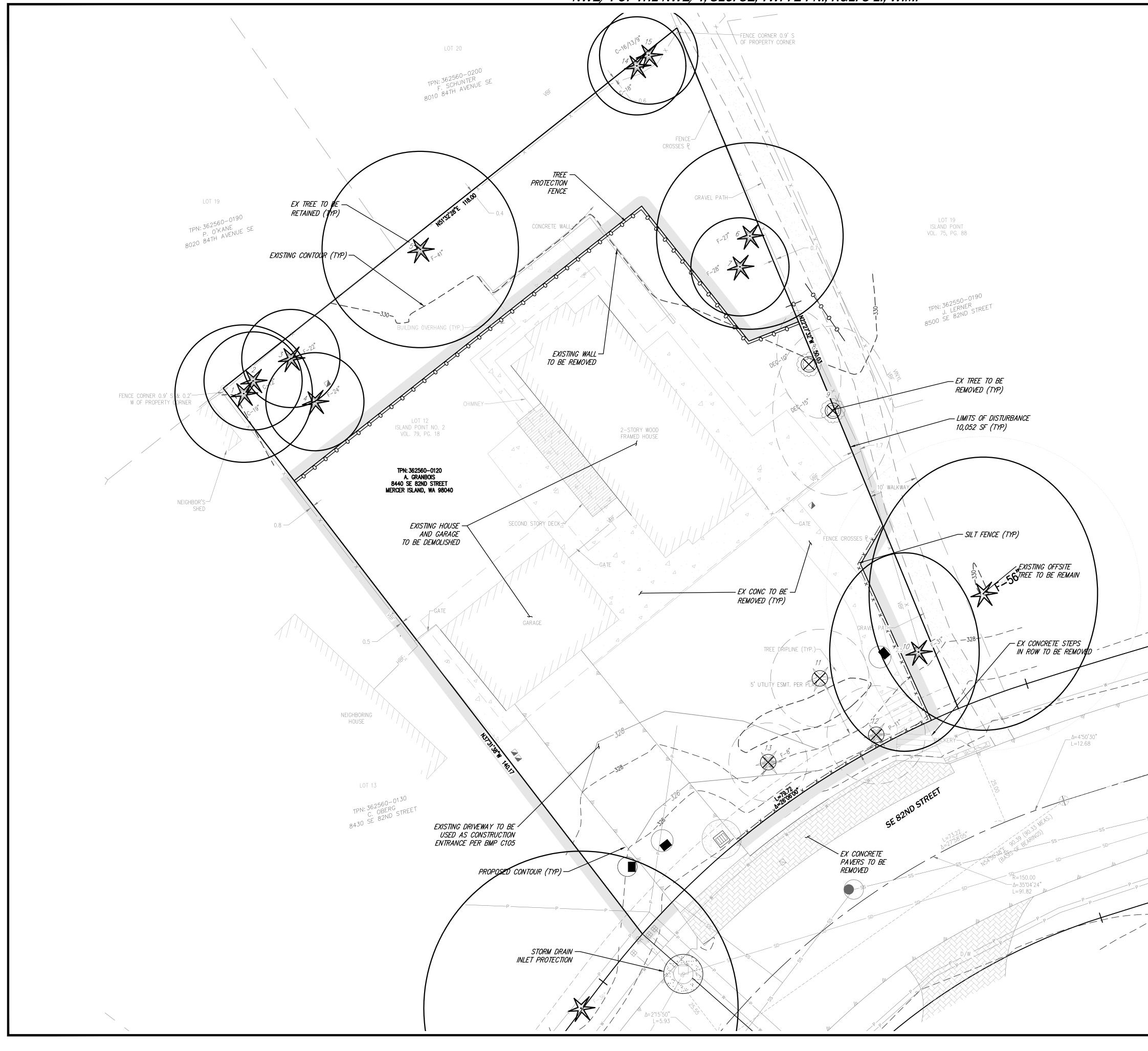
LOT COVERAGE

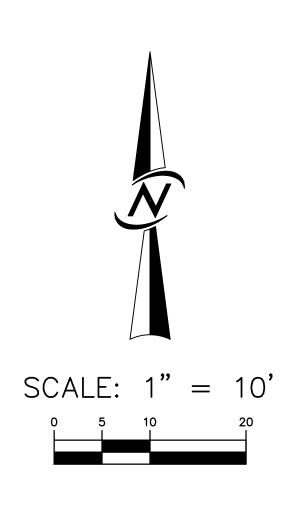
LOT AREA (PER SURVEY)	13,806 SF
ALLOWABLE LOT COVERAGE = 40%	5,522 SF
MAIN STRUCTURE ROOF AREA	3,601SF
UNCOVERED PATIOS WALKS & DRIVEWAY	1,969 SF
TOTAL PROJECT IMPERVIOUS AREA	5,570 SF
PROPOSED LOT COVERAGE AREA	40.3%

NO. REVISIONS DATE 1 CITY COMMENTS 5/30/23	2 CITY COMMENTS, FOOTPRINT REVISION	E ARCHITECTURE			
			R CUSTOM)		12100 NE 195th St, Suite 300 Bothell, Washington 98011 425.885.7877
		GRANBUIS CUS	TCHC. LLC. (BDA: BDR	P.O. BOX 50208	BELLEVUE, WA 98015
DATE APRIL 2023 (2ND SUB)	DESIGNED SHERI H. MURATA, P.E.	DRAWN JOCEL W R. CASENAS	APPROVED SHERI H. MURATA, P.E.	SHERI H. MURATA, P.E.	PROJECT MANAGER
	5HEI 1 0JE	, ,	NU	ог З мві	ER

22293

UNDERGROUND LOCATOR SERVICE CALL BEFORE YOU DIG! 1-800-424-5555





. REVISIONS DATE 5/30/23	CITY COMMENTS, FOOTPRINT REVISION 7/10/23		
NO.		3. 2015TERCO	COVAL ENGLA
	CIVIL ENGINEERING LANDSCAPE ARCHITECTURE	PLANNING SURVEYING	ell, Washington 98011 425.885.7877
		DESIGN	12100 NE 195th St, Suite 300 Bothell, Washington 98011 425.885
	GRANBOIS CUSTOM	TCHC, LLC. (BDA: BDR CUSTOM)	P.O. BOX 50208 BELLEVUE, WA 98015
	GR	TCHC, LL(

SHEET

2

ROJECT NUMBER **22293**

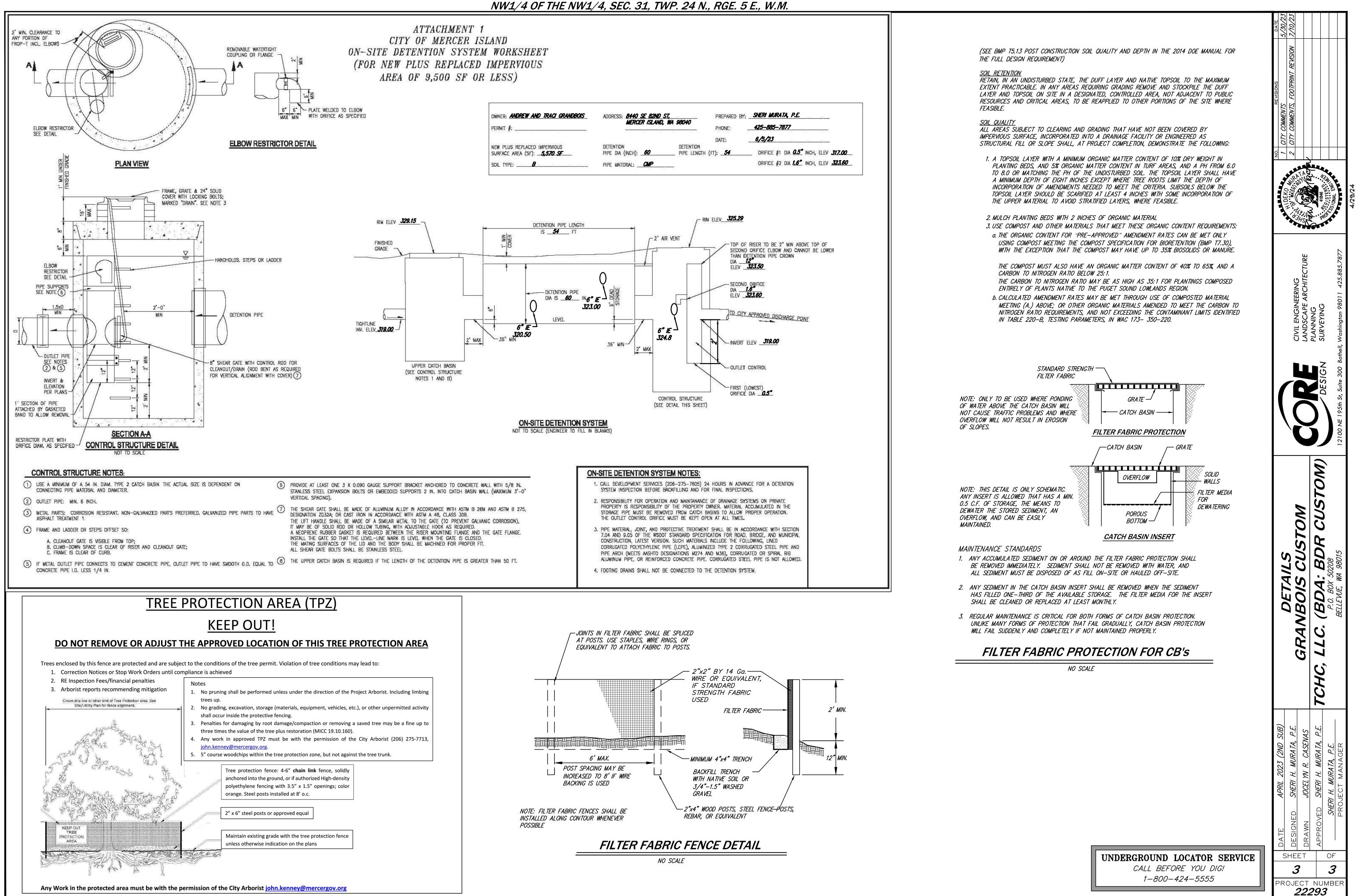
OF

3

LEGEND

\bigcirc	FOUND SURVEY MONUMENT, AS NOTED
\bigcirc	FOUND SURVEY MARKER, AS NOTED
	SEWER MANHOLE
	CATCH BASIN TYPE I
	CATCH BASIN TYPE II
Q	FIRE HYDRANT
	WATER METER
	IRRIGATION METER
\bigtriangleup	POWER TRANSFORMER
\boxtimes	TELEPHONE PEDESTAL
	TV PEDESTAL
MAIL	MAILBOX KIOSK
	EVERGREEN TREE
	DECIDUOUS TREE
F-	FIR
C	CEDAR
P-	PINE
DEC-	DECIDUOUS
f	PROPERTY LINE
D/W	DRIVEWAY
VBF	VERTICAL BOARD FENCE
HBF	HORIZONTAL BOARD FENCE
SS	SEWER LINE
SD	STORM DRAINAGE LINE
W	WATER LINE
P	UNDERGROUND POWER LINE
X	FENCE LINE
	EDGE OF ASPHALT
	CONCRETE
	GRAVEL
	BRICK

UNDERGROUND LOCATOR SERVICE *CALL BEFORE YOU DIG! 1–800–424–5555*





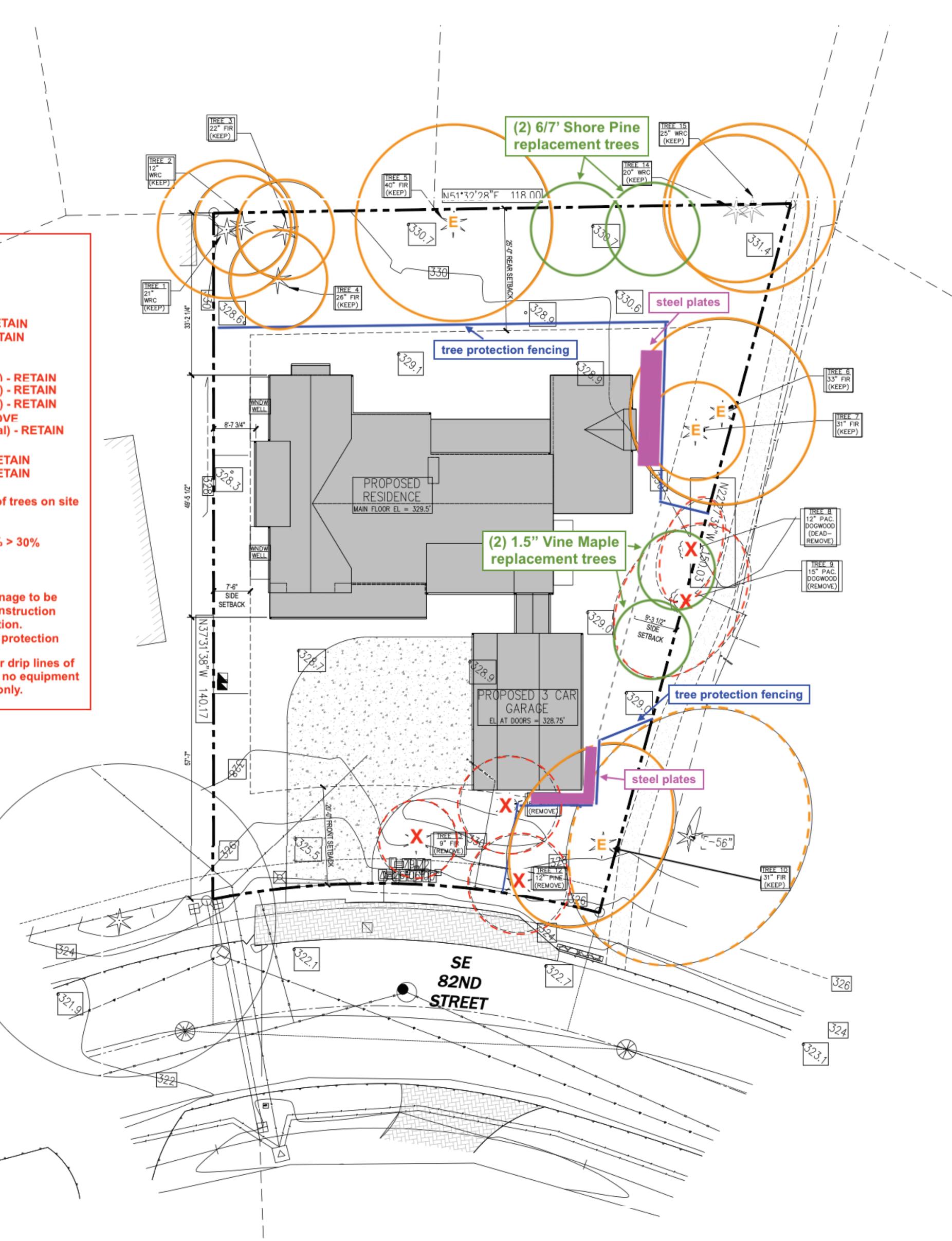
TREE RETENTION & PROTECTION PLAN Kim Ettari - ISA Arborist PN1301A/TRAQ Laughing Trees Landscapes

TREE LEGEND:

Tree #1 - Western Red Cedar - 21" DBH - RETAIN Tree #2 - Western Red Cedar - 12" DBH - RETAIN Tree #3 - Douglas Fir - 22' DBH - RETAIN Tree #4 - Douglas Fir - 26" DBH - RETAIN Tree #5 - Douglas Fir - 40" DBH (exceptional) - RETAIN Tree #6 - Douglas Fir - 33" DBH (exceptional) - RETAIN Tree #7 - Douglas Fir - 31" DBH (exceptional) - RETAIN Tree #9 - Pacific Dogwood - 15" DBH - REMOVE Tree #10 - Douglas Fir - 31" DBH (exceptional) - RETAIN Tree #12 - Pine - 12" DBH - REMOVE Tree #14 - Western Red Cedar - 20" DBH - RETAIN Tree #15 - Western Red Cedar - 25" DBH - RETAIN Mercer Island Retention Requirement: 30% of trees on site Trees to be retained: 10 Trees to be removed: 2 TOTAL TREES AFTER REMOVAL: 8/10 = 80% > 30% (meets requirement with no replacements) ARBORIST NOTES: 1. Tree protection fencing with approved signage to be

installed prior to commencements of any construction activities and to remain until project completion. 2. 3-4" bark mulch to be installed inside tree protection areas. 3. Steel plates to be installed as shown under drip lines of

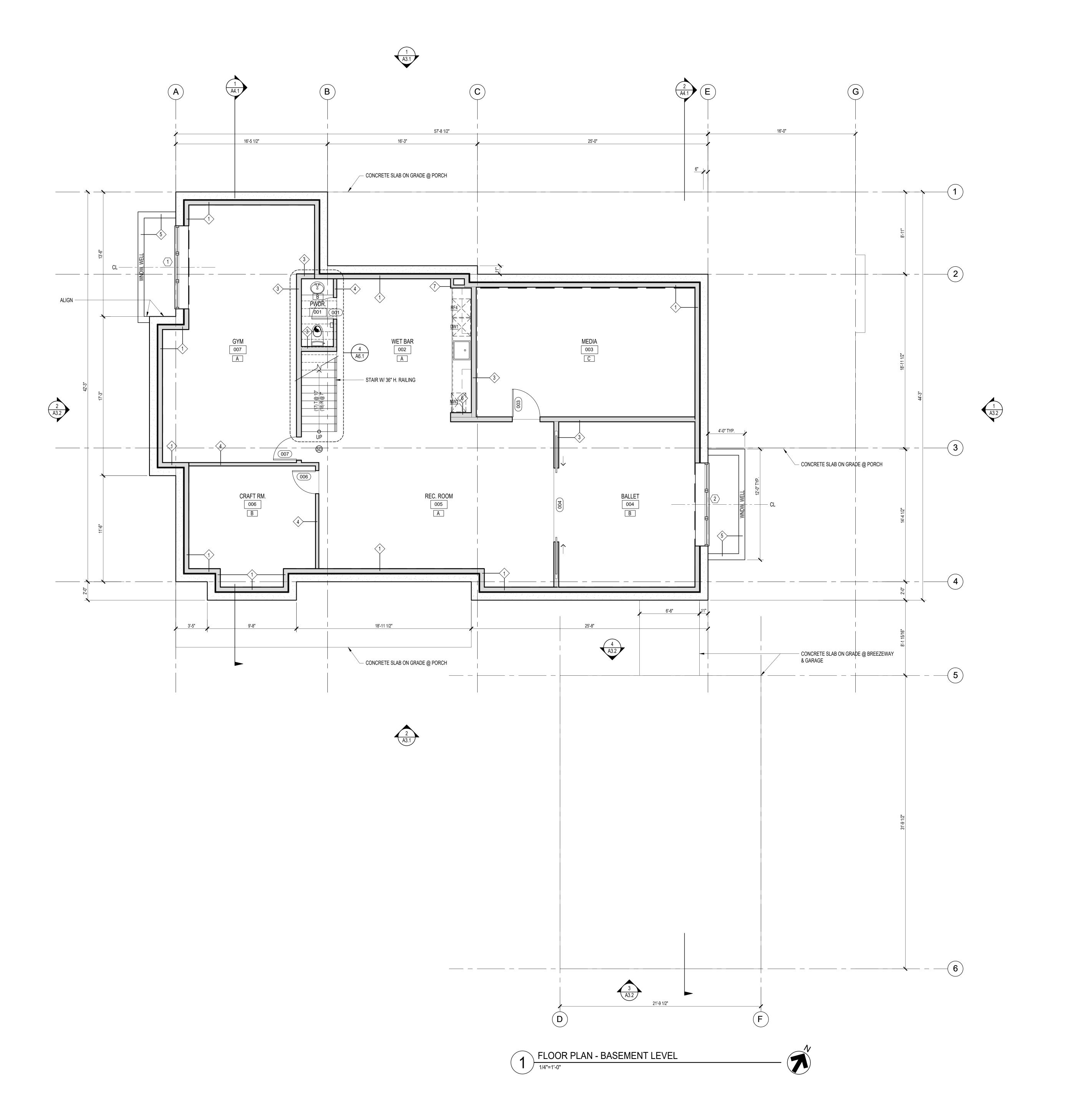
exceptional Trees #6, #7 and #10. Absolutely no equipment traffic permitted on steel plates. Foot traffic only.





L-1 REPLANTING PLAN

PERMIT SET 11/09/2023



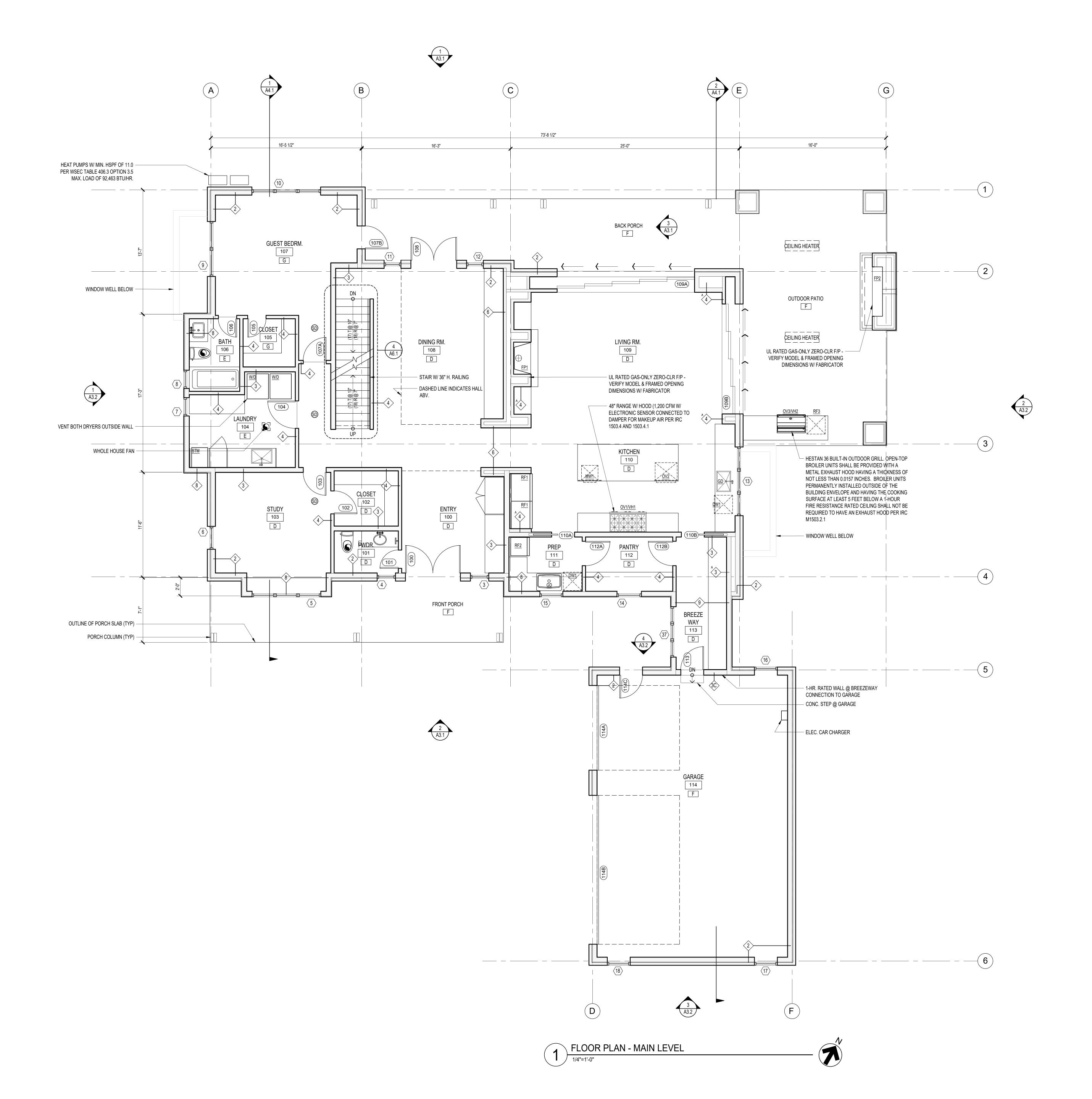
FI	OOR PLAN NOTES
1.	ALL DIMENSIONS TO F.O. FRAMING U.N.O.
2.	ALL EXTERIOR WALLS TO BE TYPE 1. U.N.O. RE LIST.
3.	ALL HANDRAILS TO BE 1 1/4" - 2" DIA. AND LOCA ADJACENT WALL ON AT LEAST ONE SIDE OF ST
4.	ALL HANDRAILS TO BE 34"-38" ABOVE STAIR NO
5.	ALL GUARDRAILS TO BE 36" H. WITH 4" MAX. CL INTERMEDIATES.
6.	ALL DOORS TO BE 4" FROM ADJACENT WALL TO JAMB U.N.O.
7.	PROVIDE SOLID BLOCKING AT ALL WALL MOUN LOCATIONS T.B.D. DURING FRAMING.
8.	STAIRS TO HAVE MAX RISER HGT. OF 7.75", MAX AND MIN. HEADROOM OF 80". MAX RISE OF STA
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4.	"ALIGN" MEANS TO ACCURATELY LOCATE THE I THE SAME PLANE.
5.	DIMENSIONS MARKED ± MEAN A TOLERANCE N SMALLER THAN 2 INCHES FROM INDICATED DIM
	VERIFY FIELD DIMENSIONS EXCEEDING TOLER ARCHITECT. SECURE ARCHITECT'S APPROVAL.
6.	NOTIFY ARCHITECT IN WRITING OF ANY DISCRE CONFLICTS IN THE LOCATION(S) OF NEW CONS COMPLETION OF PARTITION LAYOUT, NOTIFY A TIME IN THE SCHEDULE FOR VERIFICATION OF ARCHITECT PRIOR TO INSTALLATION.
7.	ALL WORK SHALL BE ERECTED & INSTALLED PL & TRUE.
8.	DIMENSIONS LOCATING DOORS ARE TO FINISH
9.	ALL GLASS SHALL BE CLEAR TEMPERED GLASS OTHERWISE NOTED. GLAZING TONG MARKS SI CLEAN AND POLISH ALL GLASS PRIOR TO PRO.
10.	ALL CASEWORK CONSTRUCTION TO MEET AWI STANDARDS. ALL WOOD TO RECEIVE TRANSPA
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11.	DRAWINGS FOR REVIEW & APPROVAL PRIOR TO ALL MILLWORK TO BE FASTENED TO THE WALL
12.	NON-COMBUSTIBLE BLOCKING FOR ALL MILLWO BY FLOOR OR ABOVE 4'-0" HT. VERIFY LOCATION OF ALL DEVICES (OUTLETS,
	STROBES, THERMOSTATS, ETC.) PRIOR TO CON ROUGH-IN. NO DEVICE SHALL BE LOCATED IN V TO RECEIVE WALLCOVERINGS OR OTHER SPEC FINISHES.
13.	PER M1504.3 ANY NEW EXHAUST AIR SHALL VE EXTERIOR OF THE BUILDING.

FLOOR PLAN LEGEND

- MIN 50 CFM FAN, VENT TO OUTSIDE
- SD SMOKE/CO COMBO DETECTOR, INTERCONNECTED & HARD PLAN WIRED W/ BATTERY BACKUP

REFER TO ASSEMBLY CATED 1 1/2" MIN. FROM STAIRS. NOSE. CLEAR SPACE BETWEEN CLEAR SPACE BETWEEN TO INT. F.O. FINISHED UNTED ITEMS. MAX TREAD DEPTH OF 10" TES FINISHES TO REMAIN. RE TO BE LOCATED TION OR CENTERLINE WALLS THAT APPEAR CENTERED ON HE FINISHED FACES IN E NOT GREATER NOR DIMENSION, U.N.O. ERANCE WITH THE AL. CREPANCIES OR NSTRUCTION. UPON YARCHITECT. ALLOW OF THE LAYOUT BY THE PLUMB, LEVEL, SQUARE SHED OPENING. UON. ASS, UNLESS S HALL NOT BE VISIBLE. ROJECT DELIVERY. WI PREMIUM GRADE PARENT FINISH. FINISH ON 1500, SYSTEM OR STRUCATION. ALLS. PROVIDE WORK NOT SUPPORTED TO FABRICATION. ALLS. PROVIDE WORK NOT SUPPORTED S, SWITCHES, HORNS, ON CONNECTION AT ELINGS PARENT FINISH S/ OR	JEUNESSE // M ARCHITECTS P206.457.7966 www.jeunessearchitects.com			
	The Granbois Residence	8440 SE 82nd Street MERCER ISLAND, WA 98040	JA PROJECT NUMBER: 202314	
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PERMIT SET 04/07/2023 ······ INTERMITTENT WHOLE HOUSE FAN - SEE COVER SHEET FOR BASEMENT FLOOR A2.



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6.	VERIFY FIELD DIMENSIONS EXCEEDING TOLER ARCHITECT. SECURE ARCHITECT'S APPROVAL.
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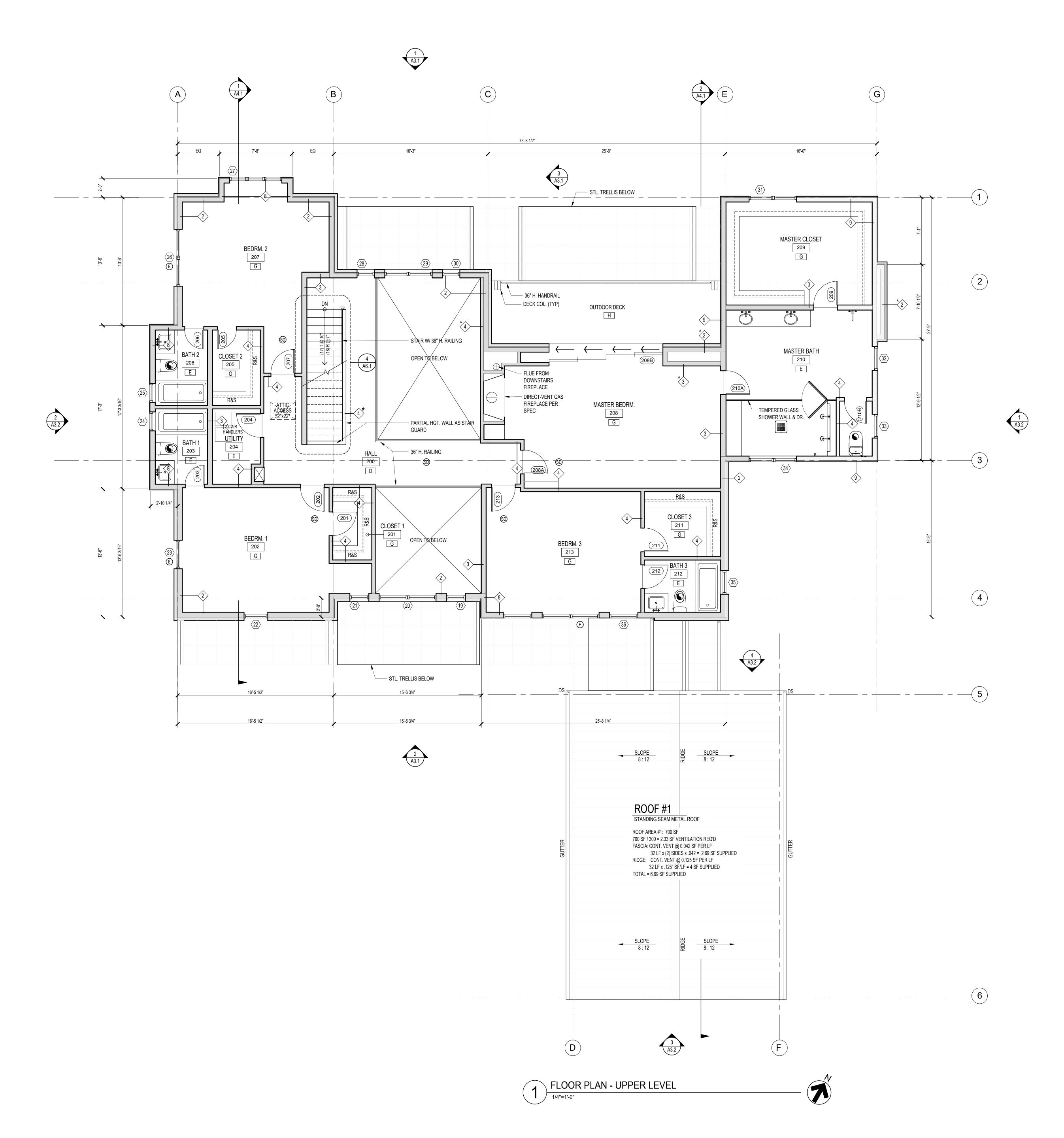
FLOOR PLAN LEGEND

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	The Granbois Residence	8440 SE 82nd Street MERCER ISLAND, WA 98040 JA PROJECT NUMBER: 202314
	©Jeunesse These doct specifically They are no projects, or without the the Architer 1122 HEAT STA	Architects LLC 2017 Juments have been prepared for the above-named project. tot suitable for use on other in other locations, and/or approval and participation of ct. REGISTERED ARCHITECT Jumenta THER POGUE TE OF WASHINGTON

PERMIT SET 04/07/2023 MAIN LEVEL Δ FLOOR PLAN

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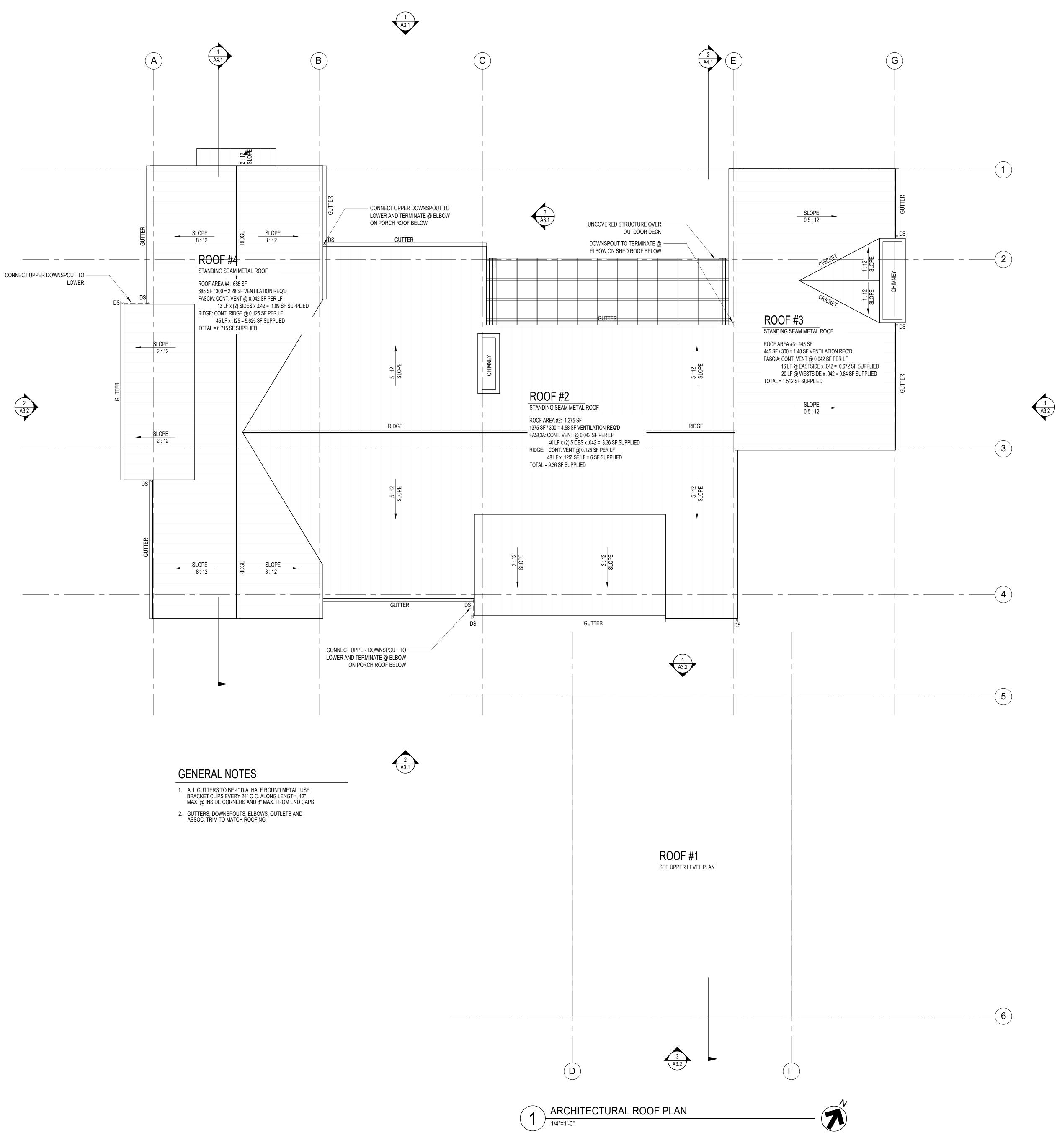
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	Resic 1 98040 R: 2023	
	nbois Resid d Street AND, WA 98040 T NUMBER: 2023	
	The Granbois Residence 8440 SE 82nd Street MERCER ISLAND, WA 98040 JA PROJECT NUMBER: 202314	
	The 8440 JA PF JA PF	
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	the Architect.	
	HEATHER POGUE STATE OF WASHINGTON	
	REVISION DATE PERMIT REVISION 04/29/24	•

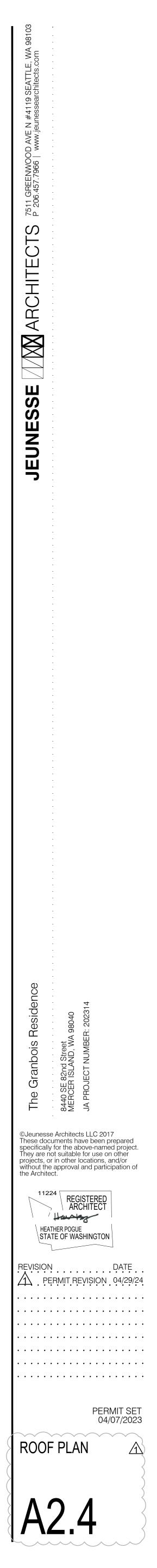
~~~~~~ INTERMITTENT WHOLE HOUSE FAN - SEE COVER SHEET FOR UPPER LEVEL  $\triangle$ FLOOR PLAN

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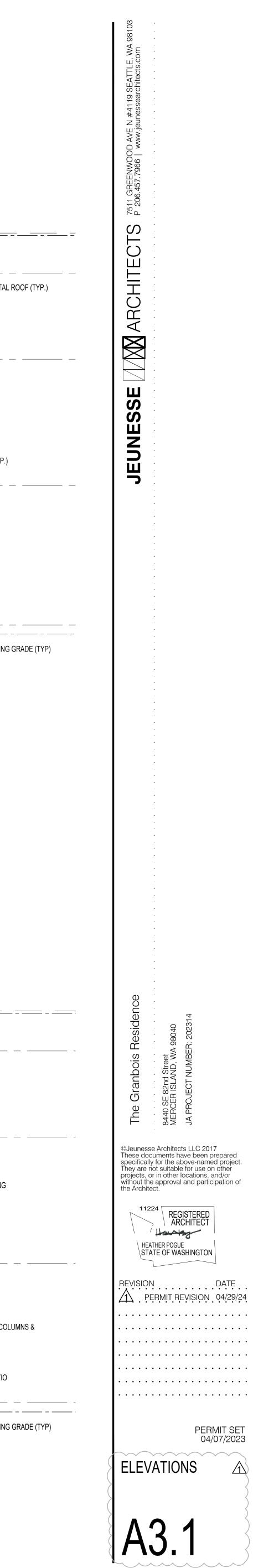
PERMIT SET 04/07/2023

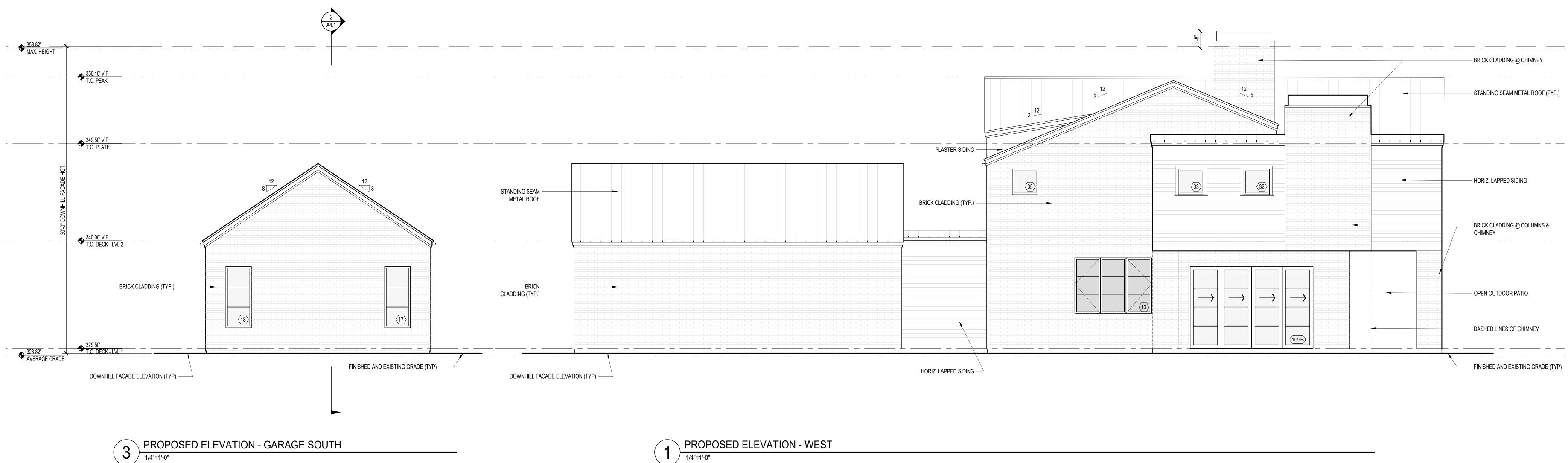


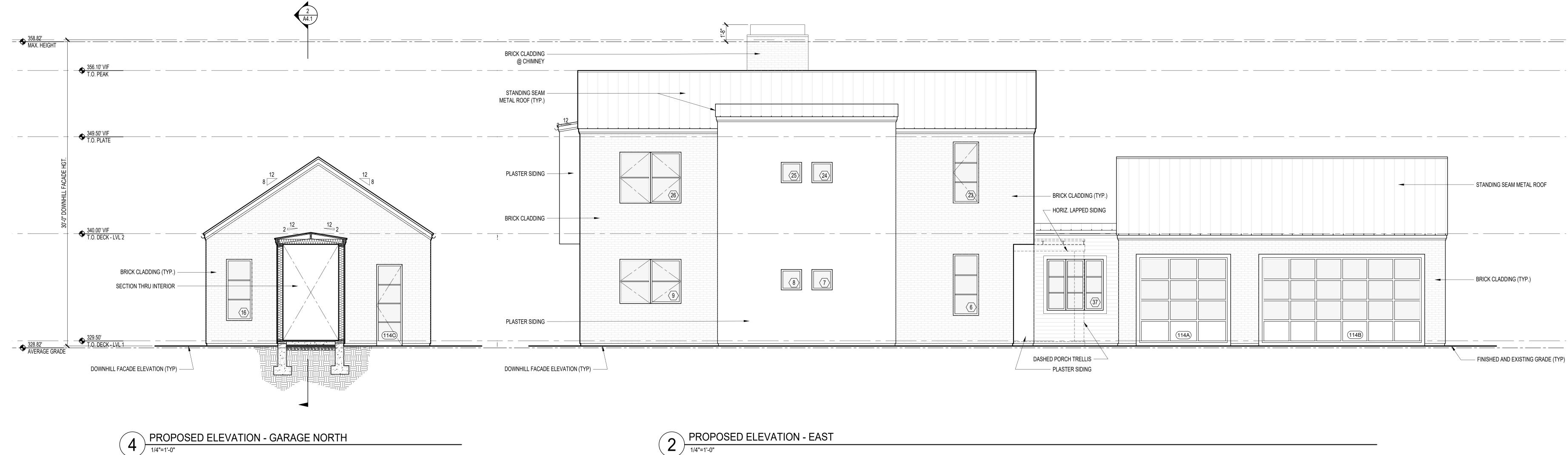












| $\bigcirc$ | PROPOSED ELEVATION - EAST |
|------------|---------------------------|
|            | 1/4"=1'-0"                |



- STANDING SEAM METAL ROOF (TYP.)

— FINISHED AND EXISTING GRADE (TYP)



| The Granbois Residen |  | 8440 SE 82nd Street<br>MERCER ISLAND, WA 98040 | JA PROJECT NUMBER: 202314 |
|----------------------|--|------------------------------------------------|---------------------------|
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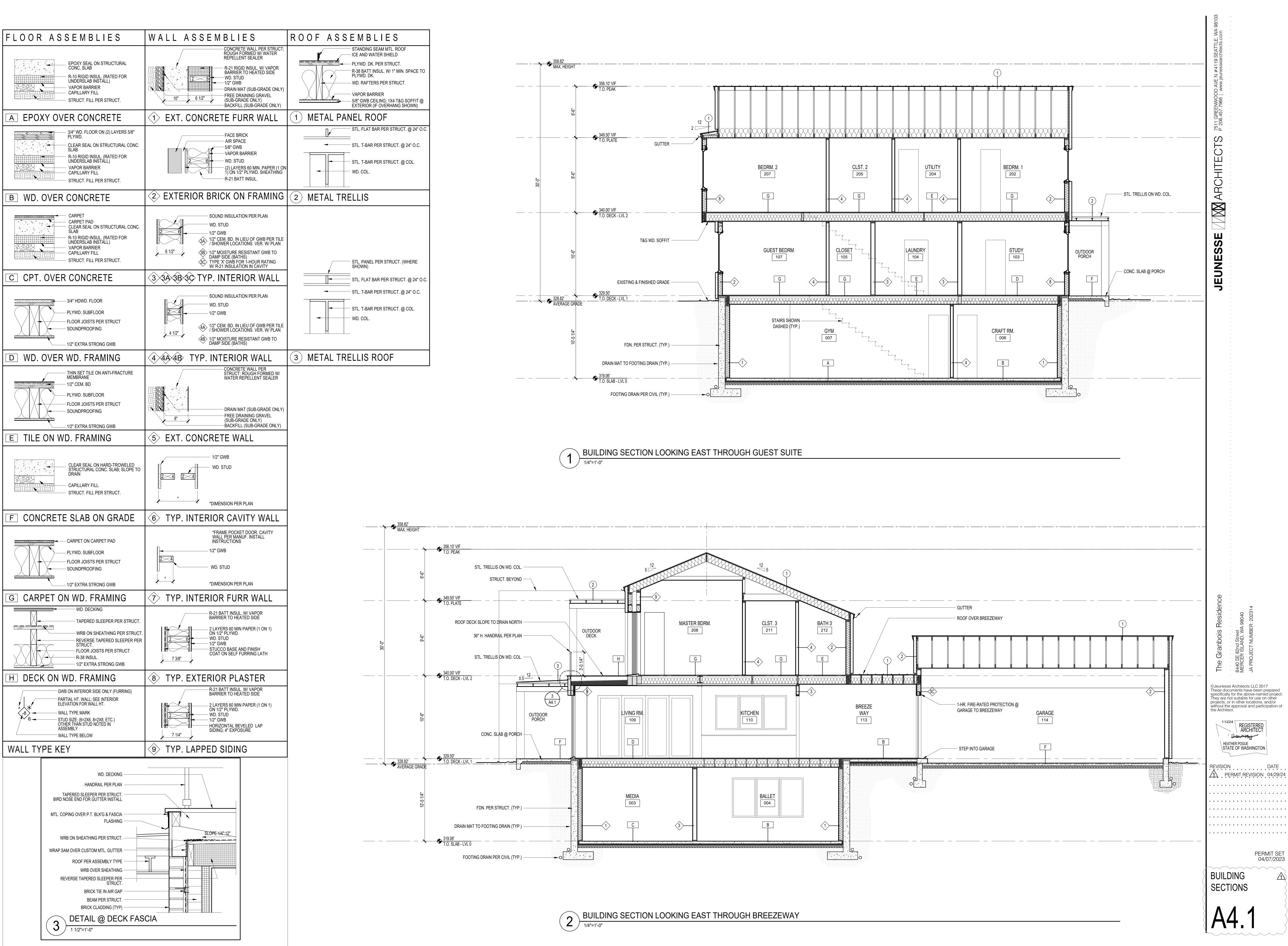
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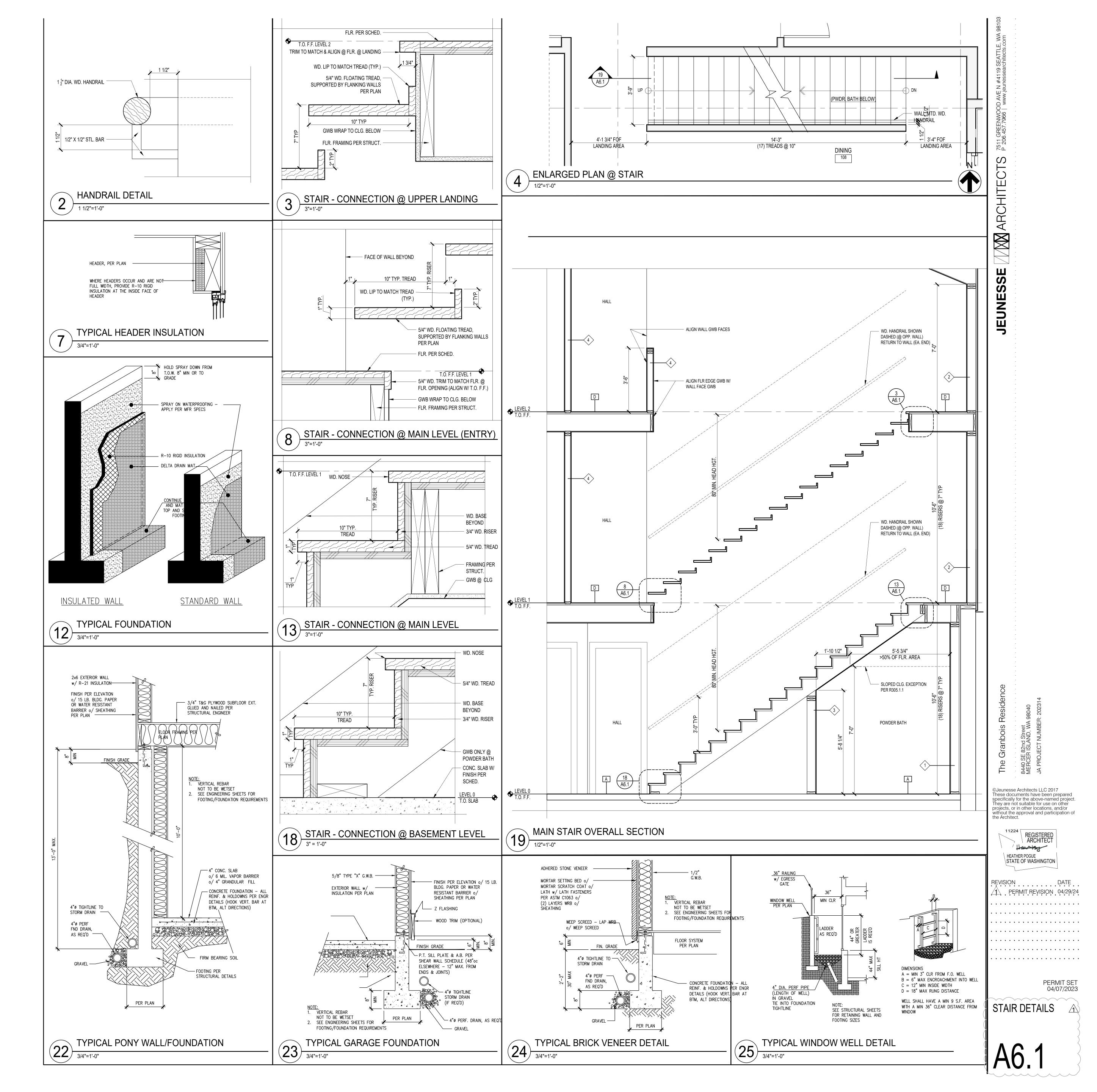
| ARCHITECT                            |      |
|--------------------------------------|------|
| HEATHER POGUE<br>STATE OF WASHINGTON |      |
| REVISION                             | DATE |

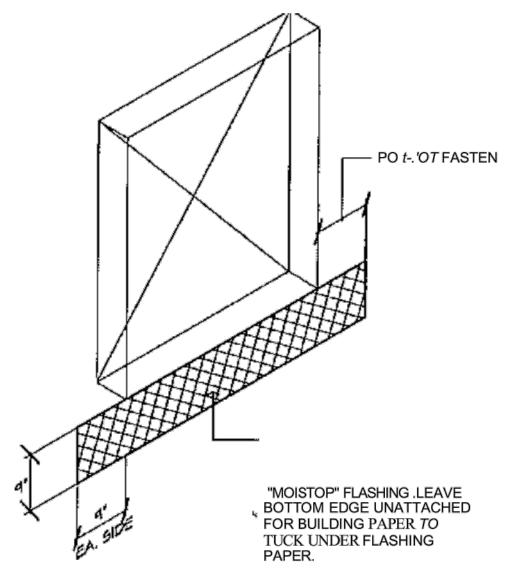
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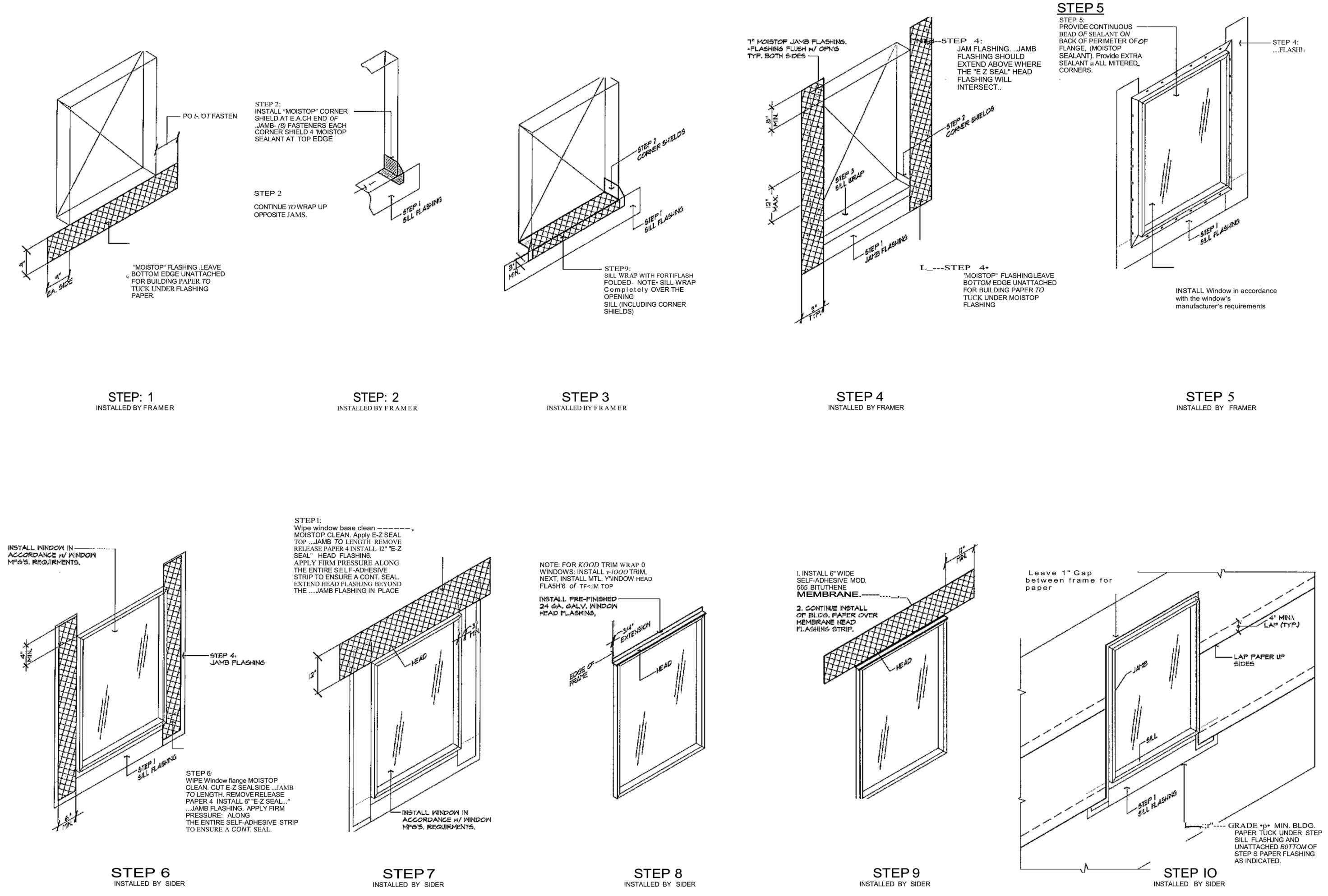
# PERMIT SET 04/07/2023

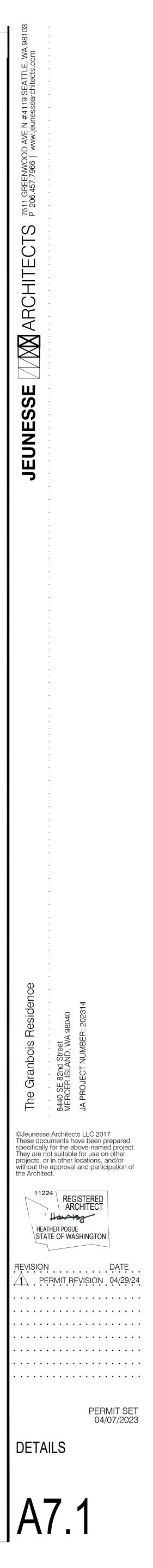






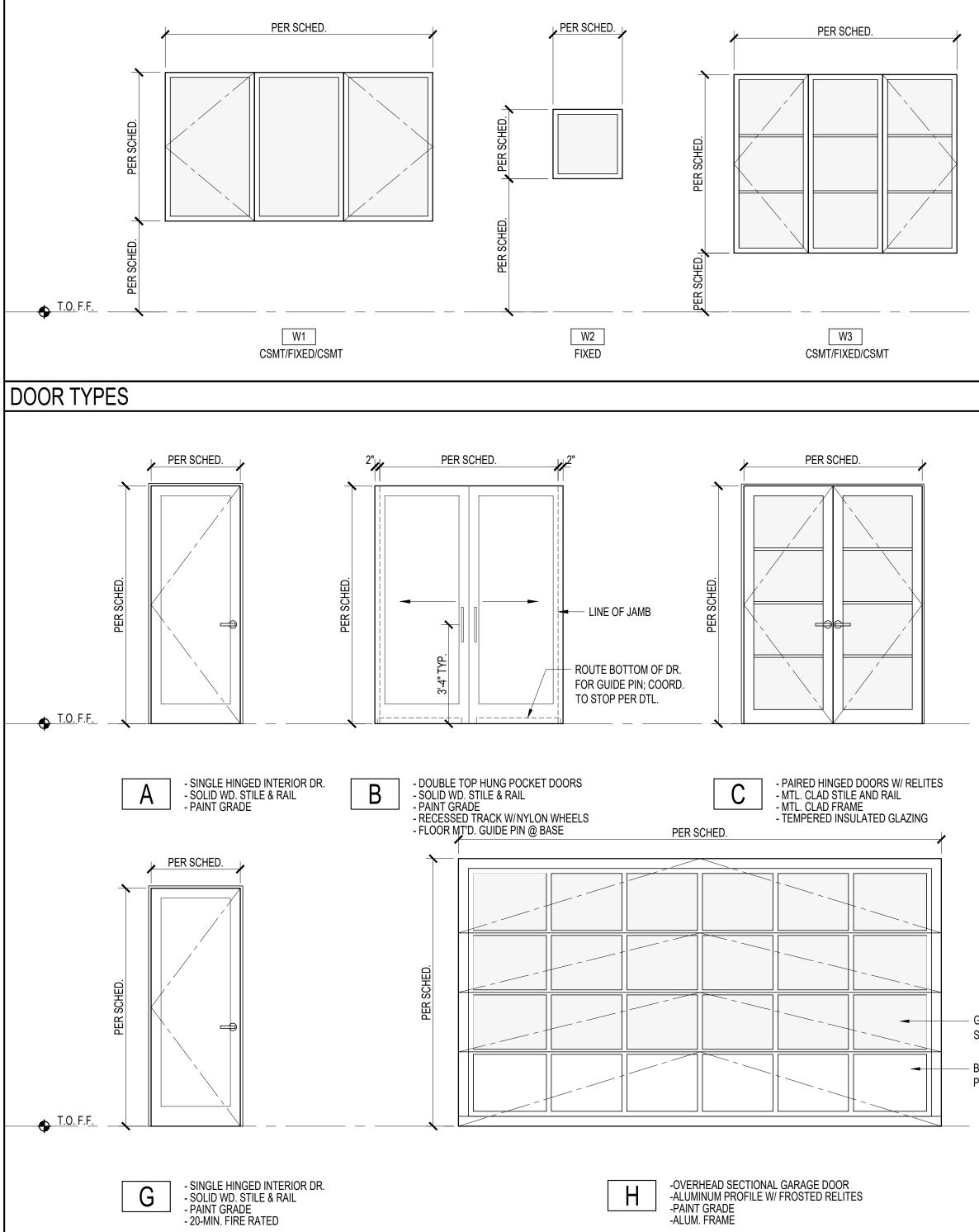


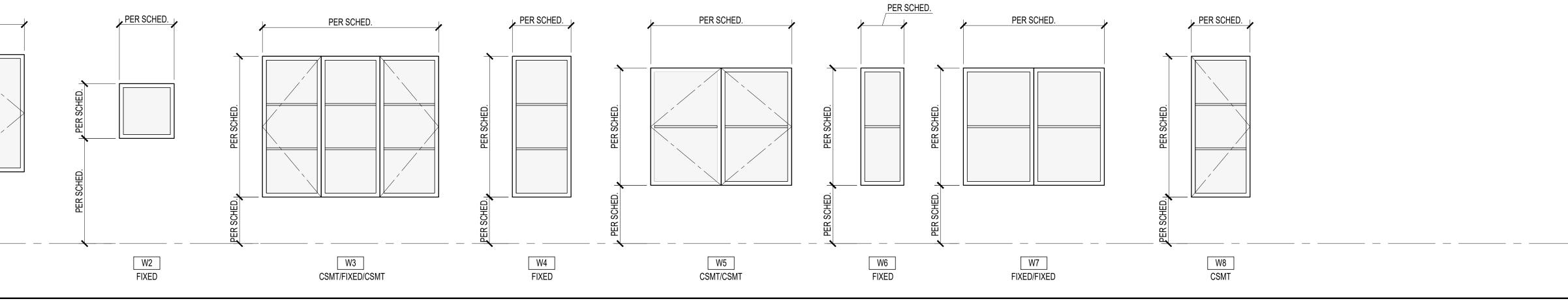


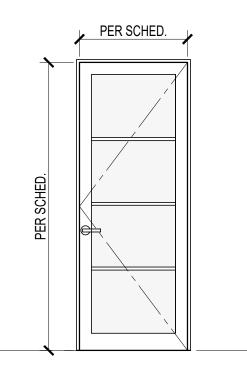


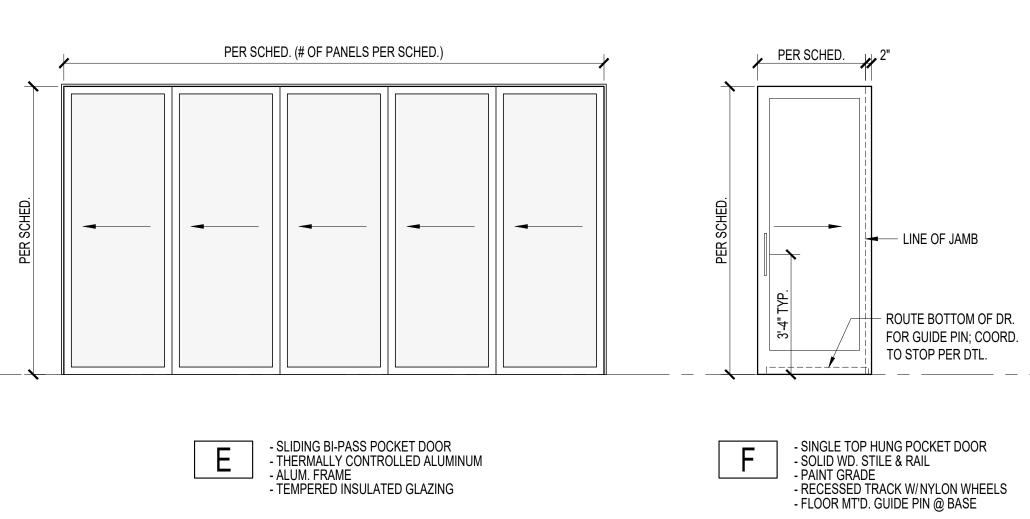
| WINDOW SC      | CHEDUI     | LE    |               |       |             |      |        |           |                         |         | DOC  | DR S | SCHEDUL          | E    |              |        |               |      |             |            |          |         |        |         |                                              | GENERAL WNDW.                                                                                                            | /./DR.1       |
|----------------|------------|-------|---------------|-------|-------------|------|--------|-----------|-------------------------|---------|------|------|------------------|------|--------------|--------|---------------|------|-------------|------------|----------|---------|--------|---------|----------------------------------------------|--------------------------------------------------------------------------------------------------------------------------|---------------|
| MARK ROOM      | _          | SIZE  | JAMB<br>WIDTH |       |             | FR   | AME    |           |                         | REMARKS | MARK |      | <u> </u>         |      | PNG. U.O.N.) |        | JAMB<br>WIDTH | TYPE | DR          | FRAME      |          |         |        |         | DEMARKS                                      | 1. REFER TO SCHEDULE FOR JAI                                                                                             |               |
|                | W          | Н     | WIDTH         |       | MAT'L.      | INT. | FIN. E | EXT. FIN. | TE                      |         |      |      |                  |      | Н            | THK.   | WIDTH         |      |             |            | INT. EX  | T. INT. | EXT.   |         | T REMARKS                                    | 2. VERIFY CASEMENT SWING DIP<br>DOOR OPERATION W/ EXTERIO                                                                | IRECTION &    |
| 1 GYM          | (3) 3'-0"  | 5'-0" | 6 9/16"       | 3-0"  | W1 MTL. CL. |      | P      | PT-2      |                         |         |      | _    | /DR. BATH 2'-4"  | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-1    |                                              |                                                                                                                          |               |
| 2 BALLET       | (3) 3'-0"  | 5'-0" | 6 9/16"       | 3'-0" | W1 MTL. CL. |      |        | PT-2      |                         |         | 003  | _    |                  |      | 8'-0"        | 1 1/2" | 6 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              | 3. T INDICATES TEMPERED GL                                                                                               |               |
| 3 ENTRY        | 2'-0"      | 2'-0" | 6 9/16"       | 5'-0" | W2 MTL. CL. |      |        | PT-2      | T                       |         |      | BALI |                  |      | 8'-0"        | 1 1/2" | 6 9/16"       | В    | WD.         | WD.        |          | -       | -      | HW-3    | EACH DOOR 2" WIDER THAN OPENING (FOR POCKET) | $\bigcirc$                                                                                                               |               |
| 4 ENTRY        | 2'-0"      | 2'-0" | 6 9/16"       | 5'-0" | W2 MTL. CL. |      |        | PT-2      | $\bigcirc$              |         |      | CRA  |                  |      | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              | 5. VERTICAL GLAZING & EXTERIO<br>UNITS TO BE MILGARD TRINSIO<br>PRIMED INTERIOR / METAL CL<br>DUAL GLAZING TO ACHIEVE 0. | SIC SERIES, I |
| 5 STUDY        | (3) 2'-6"  | 6'-0" | 6 9/16"       | 2'-6" | W3 MTL. CL. |      |        | PT-2      |                         |         |      | GYN  |                  |      | 8'-0"        | 1 1/2" | 6 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              | DUAL GLAZING TO ACHIEVE 0.                                                                                               | J.28 U-FACT   |
| 6 STUDY        | 2'-6"      | 6'-0" | 6 9/16"       | 2'-6" | W4 MTL. CL. |      |        | PT-2      |                         |         |      | ENT  | ( )              |      | 8'-0"        | 2 1/4" | 6 9/16"       | С    | MTL./GL.    | MTL.       | PT-1 PT- | 1 PT-1  | PT-1   |         | 1                                            | 6. POCKET SLIDING DOORS: ALL                                                                                             | L UNITS TO F  |
| 7 LAUNDRY      | 2'-0"      | 2'-0" | 6 9/16"       | 5'-0" | W2 MTL. CL. |      |        | PT-2      |                         |         |      | _    | /DR. MAIN 2'-0"  |      | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-1    |                                              | 6. POCKET SLIDING DOORS: ALL<br>AX550 MULTI-SLIDE, LOW-E 36<br>ACHIEVE 0.28 U-FACTOR OR B                                | BETTER.       |
| 8 GUEST BATH   |            | 2'-0" | 6 9/16"       | 5'-0" | W2 MTL. CL. |      | P      | PT-2      |                         |         |      | _    | UDY CLST. 2'-6"  |      | 8'-0"        | 1 1/2" | 4 9/16"       | A    | WD.         | WD.        |          | -       | -      | HW-5    |                                              | 7. EGRESS WINDOWS TO CON                                                                                                 | NFORM TO 7    |
| 9 GUEST BED    |            | 4'-4" | 6 9/16"       | 3'-8" | W5 MTL. CL. |      | P      | PT-2      |                         |         |      | STU  |                  |      | 8'-0"        | 1 1/2" | 6 9/16"       | A    | WD.         | WD.        |          | -       | -      | HW-2    |                                              | 7. EGRESS WINDOWS TO CONF<br>-44" MAX. HT. FROM F.F.<br>-5.7 S.F. NET CLEAR OPE                                          | ENING         |
| 10 GUEST BED   | (3) 2'-6"  | 6'-0" | 6 9/16"       | 2'-6" | W3 MTL. CL. |      |        | PT-2      |                         |         | 104  | LAU  | UNDRY 3'-0"      |      | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              | -24" CLR. MIN. HT.<br>-20" CLR. MIN. WIDTH                                                                               |               |
| 11 DINING      | 1'-10"     | 4-4"  | 6 9/16"       | 3'-8" | W6 MTL. CL. |      | P      | PT-2      |                         |         |      |      | EST CLST. 2'-0"  | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | A    | WD.         | WD.        |          | -       | -      | HW-2    |                                              | 8. ALL INTERIOR DOORS & FRA                                                                                              | AMES TO B     |
| 12 DINING      | 1'-10"     | 4-4"  | 6 9/16"       | 3'-8" | W6 MTL. CL. | PT-1 | Р      | PT-2      |                         |         | 106  | GUE  | EST BATH 2'-0"   | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-1    |                                              |                                                                                                                          |               |
| 13 KITCHEN     | (3) 2'-6"  | 5'-0" | 6 9/16"       | 3'-5" | W3 MTL. CL. | PT-1 | P      | PT-2      |                         |         | 107A | GUE  | EST BED 2'-6"    | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              |                                                                                                                          |               |
| 14 PANTRY      | 2'-6"      | 5'-5" | 6 9/16"       | 3'-5" | W4 MTL. CL. | PT-1 | Р      | PT-2      |                         |         | 107B | GUE  | EST BED 2'-6"    | 8    | 8'-0"        | 2 1/4" | 6 9/16"       | D    | MTL. CL./GL | . MTL. CL. | PT-1 PT- | 1 PT-1  | PT-1   | HW-6    | 1                                            |                                                                                                                          |               |
| 15 PREP        | 2'-6"      | 5'-5" | 6 9/16"       | 3'-5" | W4 MTL. CL. | PT-1 | Р      | PT-2      |                         |         | 108  | DINI | NING (2) 2'-6    | 6" 8 | 8'-0"        | 2 1/4" | 6 9/16"       | С    | MTL. CL./GL | . MTL. CL. | PT-1 PT- | 1 PT-1  | PT-1   | HW-4    | 1                                            | WNDW./DR. FINIS                                                                                                          | SH NO         |
| 16 GARAGE      | 2'-6"      | 6'-0" | 6 9/16"       | 2'-0" | W4 MTL. CL. | PT-1 | Р      | PT-2      |                         |         | 109A | LIVI | 'ING (5) 3'-0    | )" { | 8'-0"        | 2 1/4" | 6 9/16"       | E    | AL./GL.     | AL.        |          | -       | -      | HW-7    | 1                                            | MTL. CL. METAL CLAD PER                                                                                                  |               |
| 17 GARAGE      | 2'-6"      | 6'-0" | 6 9/16"       | 2'-0" | W4 MTL. CL. | PT-1 | Р      | PT-2      |                         |         | 109B | LIVI | 'ING (4) 3'-0    | )" { | 8'-0"        | 2 1/4" | 6 9/16"       | Е    | AL./GL.     | AL.        |          | -       | -      | HW-7    | 1                                            | GL. GLAZING (SEE NO                                                                                                      |               |
| 18 GARAGE      | 2'-6"      | 6'-0" | 6 9/16"       | 2'-0" | W4 MTL. CL. | PT-1 | P      | PT-2      |                         |         | 110A | КІТС | CHEN 2'-6"       | 8    | 8'-0"        | 1 1/2" | 6 9/16"       | F    | WD.         | WD.        |          | -       | -      | HW-8    | DOOR 2" WIDER THAN OPENING (FOR POCKET)      | AL. EXTRUDED ALUMI                                                                                                       |               |
| 19 UPPER HALL  | 2'-0"      | 4'-0" | 6 9/16"       | 2'-3" | W6 MTL. CL. | PT-1 | Р      | PT-2      |                         |         | 110B | КІТС | CHEN 2'-6"       | 8    | 8'-0"        | 1 1/2" | 6 9/16"       | F    | WD.         | WD.        |          | -       | -      | HW-8    | DOOR 2" WIDER THAN OPENING (FOR POCKET)      |                                                                                                                          |               |
| 20 UPPER HALL  | (2) 2'-6"  | 4'-0" | 6 9/16"       | 2'-3" | W7 MTL. CL. | PT-1 | Р      | PT-2      |                         |         | 112A | PAN  | NTRY 2'-6"       | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              | WD. SOLID WD. DR. & F                                                                                                    | FRAIVIES PE   |
| 21 UPPER HALL  | 2'-0"      | 4'-0" | 6 9/16"       | 2'-3" | W6 MTL. CL. | PT-1 | P      | PT-2      |                         |         | 112B | PAN  | NTRY 2'-6"       | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              | (COLOR FOR WND                                                                                                           | DW. & DR. M   |
| 22 BEDRM. 1    | 2'-6"      | 6'-0" | 6 9/16"       | 3'-0" | W4 MTL. CL. | PT-1 | Р      | PT-2      |                         |         | 113  | BRE  | EEZEWAY 2'-6"    | 8    | 8'-0"        | 1 1/2" | 6 9/16"       | G    | WD.         | WD.        |          | -       | -      | HW-9    | 20-MIN. RATED                                |                                                                                                                          |               |
| 23 BEDRM. 1    | 2'-6"      | 6'-0" | 6 9/16"       | 3'-0" | W8 MTL. CL. | PT-1 | Р      | PT-2      | Œ                       | E       | 114A | GAR  | RAGE 9'-3"       | (    | 9'-0"        | 2"     | 6 9/16"       | Н    | AL./GL.     | AL.        | PT-5 PT- | 5 PT-5  | 5 PT-5 | 5 HW-10 | $\bigcirc$                                   | (MANUF. APPLIED                                                                                                          | ) COLOR FC    |
| 24 BATH 1      | 2'-0"      | 2'-0" | 6 9/16"       | 5'-0" | W2 MTL. CL. | PT-1 | Р      | PT-2      | 1                       |         | 114B | GAR  | RAGE 16'-3"      | (    | 9'-0"        | 2"     | 6 9/16"       | Н    | AL./GL.     | AL.        | PT-5 PT- | 5 PT-5  | 5 PT-5 | 5 HW-10 | 1                                            | PT-3 TBD                                                                                                                 |               |
| 25 BATH 2      | 2'-0"      | 2'-0" | 6 9/16"       | 5'-0" | W2 MTL. CL. | PT-1 | Р      | PT-2      | $\bigcirc$              |         | 114C | GAR  | RAGE 2'-6"       | 8    | 8'-0"        | 2 1/4" | 6 9/16"       | D    | MTL. CL./GL | . MTL. CL. | PT-1 PT- | 1 PT-1  | PT-1   | HW-9    | 1                                            | (MANUF. APPLIED                                                                                                          | COLOR FO      |
| 26 BEDRM. 2    | (2) 3'-0"  | 4'-4" | 6 9/16"       | 3'-8" | W5 MTL. CL. | PT-1 | Р      | PT-2      | Œ                       | E       | 201  | CLO  | OSET 1 2'-6"     | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              | PT-4 TBD<br>(COLOR FOR INTEI                                                                                             | ERIOR DOOI    |
| 27 BEDRM. 2    |            |       | 6 9/16"       |       | MTL. CL.    | PT-1 | P      | PT-2      |                         |         | 202  | BED  | DRM. 1 2'-6"     | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              | PT-5 TBD                                                                                                                 |               |
| 28 UPPER HALL  | 1'-10"     | 4'-0" | 6 9/16"       | 2'-3" | W6 MTL. CL. | PT-1 | P      | PT-2      |                         |         | 203  | BAT  | TH 1 2'-0"       | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-1    |                                              | (MANUF. APPLIED                                                                                                          | ) COLOR FO    |
| 29 UPPER HALL  | (2) 2'-6"  | 4'-0" | 6 9/16"       | 2'-3" | W7 MTL. CL. | PT-1 | P      | PT-2      | $\uparrow \uparrow$     |         | 204  | UTIL | ILITY 2'-6"      | 3    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              |                                                                                                                          |               |
| 30 UPPER HALL  | 1'-10"     | 4'-0" | 6 9/16"       | 2'-3" | W6 MTL. CL. | PT-1 | P      | PT-2      | $\uparrow$              |         | 205  | CLO  | OSET 2 2'-0"     | 3    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              |                                                                                                                          |               |
| 31 MSTR. CLST. | (2) 3'-0"  | 4'-6" | 6 9/16"       | 4'-0" | W7 MTL. CL. | PT-1 | P      | PT-2      |                         |         | 206  | BAT  | TH 2 2'-0"       | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-1    |                                              |                                                                                                                          |               |
| 32 MSTR. BATH  | 2'-6"      | 2'-6" | 6 9/16"       | 4'-6" | W2 MTL. CL. | PT-1 | P      | PT-2      |                         |         | 207  | BED  | DRM. 2 2'-6"     | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              |                                                                                                                          |               |
| 33 MSTR. BATH  | 2'-6"      | 2'-6" | 6 9/16"       | 4'-6" | W2 MTL. CL. | PT-1 | P      | PT-2      | $\uparrow$              |         | 208A | MST  | TR. BD. 2'-6"    | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-2    |                                              |                                                                                                                          |               |
| 34 MSTR. BATH  | (2) 3'-0"  | 4'-6" | 6 9/16"       | 4'-0" | W7 MTL. CL. | PT-1 | P      | PT-2      |                         |         | 208B | MST  | TR. BD. (4) 3'-0 | )" { | 8'-0"        | 2 1/4" | 6 9/16"       | E    | AL./GL.     | AL.        |          | -       | -      | HW-7    | Ţ                                            |                                                                                                                          |               |
| 35 BATH 3      | 2'-6"      | 2'-0" | 6 9/16"       | 4'-6" | W2 MTL. CL. | PT-1 | P      | PT-2      | $\overline{\mathbb{T}}$ |         | 209  | MST  | TR.CLST. 2'-6"   | 8    | 8'-0"        | 1 1/2" | 6 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-11   |                                              |                                                                                                                          |               |
| 36 BEDRM. 3    |            |       | 6 9/16"       |       | MTL. CL.    | PT-1 | P      | PT-2      |                         | E       | 210A | MST  | TR. BATH 2'-6"   | 8    | 8'-0"        | 1 1/2" | 6 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-1    |                                              |                                                                                                                          |               |
| 37 BREEZEWAY   | (3) 1'-10" | 5'-0" | 6 9/16"       | 3'-0" | W3 MTL. CL. |      | P      | PT-2      | $\uparrow \uparrow$     |         | 210B | MST  | TR. BATH 2'-4"   | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | А    | WD.         | WD.        |          | -       | -      | HW-1    |                                              |                                                                                                                          |               |
|                |            |       |               |       |             |      |        |           | $\uparrow$              |         |      |      | OSET 3 2'-6"     | 8    | 8'-0"        | 1 1/2" | 4 9/16"       | A    | WD.         | WD.        |          | -       | -      | HW-2    |                                              |                                                                                                                          |               |
|                |            |       |               |       |             |      |        |           | $\uparrow$              |         |      | _    | TH 3 2'-6"       |      | 8'-0"        | 1 1/2" | 4 9/16"       | Α    | WD.         | WD.        |          | -       | -      | _       |                                              |                                                                                                                          |               |
|                |            |       |               |       |             |      |        |           |                         |         |      | _    | DRM. 3 2'-6"     |      | 8'-0"        | 1 1/2" | 4 9/16"       | A    | WD.         | WD.        |          | -       | -      | HW-2    |                                              |                                                                                                                          |               |
|                |            |       |               |       | 1 1         |      |        |           | 1 1                     |         |      |      |                  | `    |              |        |               | -    |             |            |          |         |        |         | l                                            |                                                                                                                          |               |

# WINDOW TYPES











— GLAZING PANEL ROWS SHOWN HATCHED (TYP.)

— BOTTOM ROW SOLID PANEL (TYP.)

|                                                                                                                                                                                                                                                                                                                                                                      | . 33                                                                                                                                           |     |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------|-----|
| <pre>/DR. NOTES<br/>MB THICKNESS.<br/>RECTION &amp; SLIDING POCKET<br/>OR ELEVATIONS/PLANS.<br/>ASS.<br/>OW.<br/>OR SWING DOORS: ALL<br/>C SERIES, PAINT GRADE<br/>.AD EXTERIOR. LOW-E 366<br/>.28 U-FACTOR OR BETTER.<br/>.UNITS TO BE MILGARD<br/>06 DUAL GLAZING TO<br/>SETTER.<br/>FORM TO THE FOLLOWING:<br/>TO SILL<br/>NING<br/>AMES TO BE PT-4, U.N.O.</pre> |                                                                                                                                                |     |
|                                                                                                                                                                                                                                                                                                                                                                      | These docur<br>specifically f<br>They are not<br>projects, or i<br>without the a<br>the Architect<br>HEATH<br>STATI<br>REVISION<br><br>PEF<br> |     |
|                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                | 7.2 |

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# GRANBOIS RESIDENCE S230110-1



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ONE TWEN

# **PROJECT INFORMATION**

PROJECT ADDRESS 8440 SE 82ND ST MERCER ISLAND, WA 98040

<u>ARCHITECT</u> JEUNESSE ARCHITECTS 7511 GREENWOOD AVE #4119 SEATTLE, WA 98103 PHONE: (206) 457-7966

STRUCTURAL ENGINEER L120 ENGINEERING & DESIGN 13150 91ST PL NE KIRKLAND, WA 98034 PHONE: (425) 636-3313 EMAIL: MTHURFJELL@L120ENGINEERING.COM CONTACT: MANS THURFJELL, PE

# △ DESCRIPTION DATE BY ▲ BDC RESPONSE 04/19/24

REVISIONS

PROJECT NAME

#### GRANBOIS RESIDENCE 8440 SE 82ND ST, MERCER ISLAND

PROJECT NUMBER

S230110-1

DRAWN BY - MR

CHECKED BY - MRT

SHEET DATE - 04/19/2024

SCALE

24X36 SHEET:1/4"=1'-0"

SHEF SHEET

CODES

ENGINEERED PER: 2018 (IRC) INTERNATIONAL RESIDENTIAL CODE 2018 (IBC) INTERNATIONAL BUILDING CODE

### SHEET INDEX

COVER SHEET...S-0 STRUCTURAL GENERAL NOTES...S-1 FOUNDATION PLAN...S-2 BASEMENT WALL FRAMING AND SHEAR WALL PLAN...S-3 FIRST FLOOR FRAMING PLAN...S-4 FIRST FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-5 SECOND FLOOR FRAMING PLAN...S-6 SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-7 ROOF FRAMING PLAN...S-8

> STRUCTURAL DETAILS...SD-1 STRUCTURAL DETAILS...SD-2 STRUCTURAL DETAILS...SD-3

# **GENERAL STRUCTURAL NOTES**

#### DESIGN CRITERIA

CODE: 2018 IBC/IRC & AMENDMENTS AS ADOPTED BY THE REVIEWING AGENCY/COUNTY. ROOF ..... ..25 PSF SNOW (GROUND)

#### FLOORS 40 PSF RESIDENTIAL

| BALCONY/DECK | 60 PSF |
|--------------|--------|

BASIC WIND SPEED .100 MPH, EXPOSURE B, KZT=1.90 SEISMIC

| MAPPED SPECTRAL ACCELERATION, Ss | 1.64 |
|----------------------------------|------|
| MAPPED SPECTRAL ACCELERATION, S1 | 0.62 |
| SOIL SITE CLASS                  | D    |

**GENERAL CONDITIONS** 

- 1. THE CONTRACTOR SHALL EXAMINE THE STRUCTURAL DRAWINGS AND SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES HE MAY FIND BEFORE PROCEEDING WITH THE WORK.
- 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT/ENGINEER SHALL IMMEDIATELY BE NOTIFIED IN WRITING OF ANY DISCREPANCIES
- 3. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED
- 4. IN CASE OF CONFLICT, NOTES AND DETAILS OF THESE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER THE "GENERAL NOTES" AND/OR "STANDARD DETAILS"
- 5. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR WORK.
- 6. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THESE DRAWINGS.
- 7. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE STRUCTURAL ENGINEER OF ANY CONDITION WHICH IN HIS OPINION MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS TO THE STRUCTURE.
- 8. THE CONTRACTOR SHALL SUPERVISE AND DIRECT HIS WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION.
- 9. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE, AND ALL OTHER REGULATING AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK
- 10. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE THE NOTES, DRAWINGS, AND/OR SPECIFICATIONS DIFFER, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- 11. REFER TO THE ARCHITECTURAL DRAWINGS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES OR THE STRUCTURAL DRAWINGS.
- 12. NOTIFY ENGINEER OF ALL FIELD CHANGES PRIOR TO INSTALLATION.
- 13. DISCREPANCIES FOUND BETWEEN STRUCTURAL DRAWINGS AND OTHER DOCUMENTS ARE TO BE NOTED IN WRITING TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 14. ALL CONSTRUCTION SHALL BE DONE WITH MATERIALS, METHODS, AND WORKMANSHIP ACCEPTED AS GOOD PRACTICE BY THE CONSTRUCTION INDUSTRY IN CONFORMANCE TO THE PROVISIONS OF THE "INTERNATIONAL BUILDING CODE" (IBC), AND STANDARDS REFERENCED THEREIN.

#### FOUNDATION

- 1. FOUNDATION DESIGN PARAMETERS ASSUMED PER REPORT PROVIDED BY GEOTECH CONSULTANTS DATED 2/28/23:
  - FOOTING BEARING PRESSURE: 3500 PSF
  - LATERAL EARTH PRESSURE:
  - ACTIVE: 35 PCF (FREE) H\*10 PCF (RESTRAINED)
  - PASSIVE: 300 PCF
  - COEFFICIENT OF BASE FRICTION: 0.5
- 2. SUBGRADE PREPARATION, DRAINAGE PROVISIONS, AND OTHER RELEVANT SOIL CONSIDERATIONS ARE TO BE IN ACCORDANCE WITH THE JURISDICTIONAL REOUIREMENTS.
- 3. ALL FOUNDATIONS ARE TO BEAR ON COMPETENT NATIVE SOILS OR STRUCTURAL FILL. STRUCTURAL FILL IS TO BE COMPACTED TO 95% DENSITY PER ASTM D-1557.

#### CONCRETE

- 1. REFERENCE STANDARDS: ACI-301, ACI-318, IBC.
  - MINIMUM CONCRETE STRENGTH (28 DAYS):
  - FOOTINGS AND STEM WALLS......2,500 PSI 5 SACK MIX
  - BASEMENT FOUNDATION RETAINING WALLS......2,500 PSI 5.5 SACK MIX
  - SLAB-ON-GRADE......2,500 PSI 5 SACK MIX
  - AIR-ENTRAINMENT 2.5% TO 5.5% FOR EXPOSED CONCRETE
- 2. MIXING: COMPLY WITH ACI-301. DO NOT EXCEED THE AMOUNT OF WATER SPECIFIED IN THE APPROVED
- MIX. PROPORTIONS OF AGGREGATE TO CEMENT SHALL BE SUCH AS TO PRODUCE A DENSE WORKABLE MIX WHICH CAN BE PLACED WITHOUT SEGREGATION OR EXCESS FREE SURFACE WATER
- 3. PLACING: COMPLY WITH ACI-301. PROVIDE A 3/4 INCH CHAMFER ALL EXPOSED CONCRETE EDGES, UNLESS INDICATED OTHERWISE ON ARCHITECTURAL DRAWINGS.
- 4. SLUMP: 4" PLUS OR MINUS ONE INCH. DO NOT ADD WATER TO MIX TO INCREASE SLUMP. GREATER SLUMP, ACCELERATED SET, OR HIGH EARLY STRENGTH MAY BE ACHIEVED BY USING APPROVED ADMIXTURES.
- CURING: COMPLY WITH ACI-301. KEEP CONCRETE MOIST FOR SEVEN DAYS MINIMUM.
- 6. JOINTING: PROVIDE ADEQUATE JOINTING TO MINIMIZE EFFECTS OF VOLUME CHANGE. JOINTS SHOWN
- MAY BE ADJUSTED AT CONTRACTOR'S OPTION, WITH PRIOR APPROVAL FROM ENGINEER.
- 7. WEATHER EXTREMES: COMPLY WITH ACI 305R FOR HOT WEATHER. COMPLY WITH ACI 306R FOR COLD WEATHER.
- 8. WATER/CEMENT RATIO SHALL NOT EXCEED 0.50 (BY WEIGHT), TYPICAL

REINFORCING STEEL

- (MSP-1)
- 2. MATERIALS:
- REINFORCING STEEL: ASTM A615, GRADE 60 3. SPLICES:
  - CORNER BARS FOR ALL HORIZONTAL REINFORCEMENT

## 4. COVER:

WEATHER FACE ...1-1/2 INCHES, #5 BARS AND SMALLER 2 INCHES, # 6 BARS AND LARGER INTERIOR FACE ... 3/4 INCH FOR SLABS AND WALLS 1-1/2 INCHES FOR BEAMS AND COLUMNS

#### STRUCTURAL AND MISC. STEEL

- 2. MATERIALS:
  - BOLTS ASTM A307, UNLESS OTHERWISE NOTED WF BEAMS - ASTM A572-50 (Fy = 50,000 PSI) HSS ROUND COLUMNS - ASTM A500 Gr. B (Fy = 42,000 PSI) HSS RECTANGULAR COLUMNS - ASTM A500 Gr. B (Fy = 46,000 PSI) ALL OTHER STEEL - ASTM A36 (Fy = 36,000 PSI)

#### STRUCTURAL STEEL WELDING

CONFORM TO THE AWS CODES D1.1 AND D1.3. ALL WELDING TO BE DONE ONLY BY WABO CERTIFIED FLOOR SHEATHING: 3/4" NOMINAL APA RATED PANELS, PRP-108 PERFORMANCE STANDARD, NAILED AND WELDERS AND HAVE SPECIAL INSPECTION BY WABO CERTIFIED INSPECTION AGENCY OR BE DONE BY GLUED. CONFORM TO IBC IDENTIFICATION INDEX 40/20 FOR SUPPORTS TO 20 INCHES ON CENTER. WABO CERTIFIED FABRICATION SHOP. EITHER SPECIAL INSPECTION REPORT OR WABO FABRICATION ADHESIVES ARE TO CONFORM TO APA SPECIFICATION AFG-01. PROVIDE T&G EDGES AT LONG PANEL SHOP CERTIFICATION SHOULD BE AVAILABLE ON SITE FOR THE BUILDING INSPECTOR. WELDS NOT EDGES. LAY UP WITH MINIMUM 1/8" CLEAR BETWEEN PANELS TO ALLOW FOR EXPANSION. NAIL 6 INCHES SPECIFIED ARE TO BE 1/4" CONTINUOUS FILLET MINIMUM. USE DRY E70 ELECTRODES. ON CENTER AT END SUPPORTS AND 10 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. USE 10D COMMON NAILS. PROVIDE EXP-1 RATING.

#### DIMENSIONAL LUMBER

2

MEET REQUIREMENTS OF PS 20-70 AND NATIONAL GRADING RULES FOR SOFTWOOD DIMENSIONAL LUMBER. BEAR STAMP OF WWPA

| MINIMUM DIMENSIONAL LU | IMBER GRADES TO BE: |
|------------------------|---------------------|
| WALL STUDS:            | 2x, HF STUD GRAD    |
| WALL PLATES:           | 2x HF STANDARD      |
|                        | 2x, 3x PRESSURE     |
| JOISTS:                | 2x6 HF STUD GRAI    |
|                        | 2x8 AND UP HF #2    |
| BEAMS, HEADERS:        | 6x DF#2; 4x DF#2    |
| POSTS:                 | 4x, 6x, DF #2       |
| LUMBER NOT NOTED       | TO BE HF #2.        |

- PROVIDE STANDARD CUT WASHERS FOR NUTS BEARING AGAINST WOOD, AND 1/4"x3" HOT-DIPPED GALVANIZED SQUARE PLATE WASHERS FOR ALL ANCHOR BOLTS.
- 4. ALL SILLS OR PLATES RESTING ON CONCRETE OR MASONRY, WHICH IS IN CONTACT WITH OR RESTING ON FOUNDATIONS, SHALL BE PRESSURE TREATED HEM FIR OR BETTER. ALL BEARING WALL PLATES SHALL HAVE 5/8"Ø ANCHOR BOLTS PLACED A MAXIMUM 9" FROM THE END OF A PLATE AND SPACED AT INTERVALS SHOWN ON THE SHEARWALL SCHEDULE (MAXIMUM 4'-0" O.C. SPACING). ALL TREATED PRESSURE TREATED WOOD MEMBERS SHALL COMPLY WITH AWP4 U1 AND AWP4 M4 STANDARDS.
- 5. CAST-IN-PLACE ANCHOR BOLTS SHALL HAVE A MINIMUM 7" EMBEDMENT. ALTERNATE 5/8"Ø EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT II ANCHORS EMBED 7", OR APPROVED ALTERNATE.
- 6. BOLTS IN WOOD BEAMS SHALL NOT BE LESS THAN 7 DIAMETERS FROM THE END AND 4 DIAMETERS FROM THE EDGE OF THE MEMBER.
- 7. NAILS: NAILING IN ACCORDANCE WITH IBC TABLE 2304.10.1. 16D NAILS MAY BE 16D SINKERS (0.148 x 3-1/4") UNLESS NOTED OTHERWISE.
- ARE AS FOLLOWS: 8. PRESURE TREATED WOOD: ALL NAILS INTO PT WOOD SHALL BE HOT DIPPED GALVANIZED PER ASTM 2. SOIL: VERIFY SUBGRADE IS DRY DENSE AND DOES NOT HAVE STANDING WATER PRIOR A153 OR STAINLESS STEEL. ALL METAL CONNECTORS IN CONTACT WITH PT WOOD SHALL BE HOT DIPPED TO POURING FOOTINGS. 3. CONCRETE: INSPECTIONS REQUIRED ONLY FOR DESIGN MIXES SPECIFIED GREATER THAN GALVANIZED AND MEET ASTM A653 CLASS G185 (1.85 oz OF ZINC PER SQ FT MINIMUM) OR TYPE 304 / 316 STAINLESS STEEL. SIMPSON Z-MAX CONNECTORS MEET THIS REQUIREMENT. FASTENERS AND 2500 PSI. TAKE CONCRETE CYLINDERS AS REQUIRED. VERIFY SLUMP AND STRENGTH. CONNECTORS USED TOGETHER SHALL BE OF THE SAME TYPE (E.G. HOT DIPPED NAILS WITH HOT DIPPED 4. **REINFORCING**: HANGERS) VERIFY ALL REINFORCING IS PLACED IN ACCORDANCE WITH APPROVED PLANS. CHECK FOR REQUIRED COVER, SIZE AND GRADE.

#### MANUFACTURED TIMBER

| PRODUCT                  | APPLICATION     |
|--------------------------|-----------------|
| LSL RIMBOARD (1.3E)      | RIMBOARD OR STA |
| TIMBERSTRAND LSL (1.3E)  | HEADER, BEAM, O |
| TIMBERSTRAND LSL (1.55E) | RIMBOARD, HEADI |
| TIMBERSTRAND LSL (1.3E)  | WALL STUD 2X4 & |
| (1.5E)                   | WALL STUD > 2X6 |
| MICROLLAM LVL (1.9E)     | HEADER, BEAM    |
| PARALLAM PSL (2.2E)      | HEADER, BEAM    |
| PARALLAM PSL (1.8E)      | COLUMN          |
|                          |                 |

WOOD STRUCTURAL CONNECTIONS

ALL FRAMING ANCHORS, POST CAPS, BASES, HANGERS, STRAPS, ETC., SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR ENGINEER APPROVED EQUAL.

SLABS.....2 INCHES 5. FORMED SURFACES:

1. REFERENCE STANDARDS: ACI "DETAILING MANUAL" (SP-66); CRSI MANUAL OF STANDARD PRACTICE

LAP CONTINUOUS REINFORCING BARS 48 BAR DIAMETERS, UNLESS OTHERWISE NOTED. PROVIDE

REFERENCE STANDARDS: DESIGN, FABRICATION AND ERECTION ARE TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES"

- DE, 3x HF #2
- GRADE
- TREATED HF STANDARD GRADE AT FOUNDATION DE
- 2, WWPA GRADING

WIDTHS 1 ¼" AIR STRINGER OR COLUMN < 9" DEPTH 3 1⁄2" 1 <sup>3</sup>⁄4",3 ½" DER, OR < 9" DEPTH BEAM & 2X61 1/2" 1 1⁄2" 1 3⁄4" 3 ½", 5 ¼", 7" 3 ½", 5 ¼", 7"

#### BRICK VENEER ANCHORAGE

- D/A 2135 SEISMIC VENEER ANCHORS BY DUR-O-WAL OR APPROVED EQUAL AT WOOD STUD WALL.
- D/A 5213 SEISMIC VENEER ANCHORS BY DUR-O-WAL OR APPROVED EQUAL AT CONCRETE WALL
- 3. PLACE ANCHORS AT 16" O.C. VERTICAL AND 16" HORIZONTAL. PROVIDE #9 GA HORIZONTAL JOINT REINFORCING WIRE . ATTACH TO WOOD STUDS WITH #8 CORROSION RESISTANT SCREWS AND TO CONCRETE WITH 1/4"Ø EXPANSION ANCHORS.
- AT ALL OPENINGS LARGER THAN 16" IN EITHER DIRECTION, ANCHORS TO BE SPACED WITHIN 12" OF THE **OPENING AT ALL SIDES**
- 5. USE TYPE N MORTAR COMPLYING WITH ASTM C270

#### GLU-LAMINATED TIMBER

- 1. GLU-LAMINATED WOOD BEAMS, DOUGLAS FIR COAST REGION, KILN DRIED, AITC SPECIFICATION 24F-V4 FOR SIMPLE SPANS (TYPICAL), AND 24F-V8 FOR CANTILEVER-SPANS (WHERE SPECIFIED). PROVIDE AITC STAMP ON TIMBER AND SUBMIT CERTIFICATE TO ARCHITECT AND ENGINEER. MATERIALS MUST BE OBTAINED FROM AN AITC APPROVED FABRICATOR. ALL GLU-LAM BEAMS SHALL FIT SNUG AND TIGHT IN THEIR CONNECTIONS AND DEVELOP FULL BEARING AS INDICATED. NO SUBSTITUTION OF OTHER SPECIES, GLU-LAM ADHESIVE TO BE "WET- USE" TYPE, PROVIDE 2000 FT RADIUS CAMBER, U.N.O.
- MANUFACTURER'S CERTIFICATE SHALL BE PRESENTED TO THE BUILDING INSPECTOR PRIOR TO INSTALLATION.

#### WOOD SHEATHING

- ROOF SHEATHING: 7/16" MINIMUM THICKNESS APA RATED PRP-108 PERFORMANCE STANDARD, EDGE SEALED PANELS DESIGNED TO SPAN 24 INCHES EITHER PARALLEL OR PERPENDICULAR TO LONG AXIS OF PANEL WITH 35 PSF LIVE LOAD. LAY UP WITH MINIMUM 1/8" CLEAR BETWEEN PANELS TO ALLOW FOR EXPANSION, NAIL 6 INCHES ON CENTER ALONG EDGES, AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. USE 10D COMMON NAILS, U.N.O. PROVIDE EXP-1 RATING.
- 3. WOOD SHEARWALL SHEATHING: PLYWOOD OR OSB APA RATED PRP-108 PERFORMANCE STANDARD PER IBC STD 23-2 OR 23-3 TYPE C-C OR C-D. USE EXTERIOR ADHESIVES. USE 8d COMMON NAILS. PROVIDE EXP-1 RATING. ALL VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER STUDS. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING. REFER TO SHEAR WALL SCHEDULE FOR PANEL THICKNESS.
- 4. NAILING SPECIFICATIONS: CONFORM TO IBC SECTION 2304.10 "CONNECTIONS AND FASTENERS." UNO ON PLANS, NAILING PER TABLE 2304.10.1, AND FOR ROOF/FLOOR DIAPHRAGMS AND SHEARWALLS SHALL BE PER DRAWINGS. NAILS SHALL BE DRIVEN FLUSH AND SHALL NOT FRACTURE THE SURFACE OF SHEATHING. ALTERNATE NAILS MAY BE USED BUT ARE SUBJECT TO REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER. SUBSTITUTION OF STAPLES FOR THE NAILING OF RATED SHEATHING IS SUBJECT TO REVIEW BY THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

#### SHOP DRAWINGS AND SUBMITTALS

1. SUBMIT 2 SETS OF PRINTS AND 1 SET OF REPRODUCIBLES FOR REVIEW FOR:

- A) REINFORCING STEEL C) GLU-LAMINATED BEAMS D) PRE-MANUFACTURED WOOD TRUSSES B) MISCELLANEOUS STEEL
- 2. SUBMIT 3 COPIES FOR REVIEW PRIOR TO FABRICATION FOR:
- CONCRETE DESIGN MIX A)
- B) CONCRETE INSERTS
- C) EPOXY ADHESIVES

- INSPECTIONS 1. REFERENCE STANDARDS: IBC 110.
- INSPECTIONS ARE TO BE PERFORMED BY THE BUILDING OFFICIAL. INSPECTIONS REQUIRED
- 5. WOOD: DIAPHRAGM NAILING, BLOCKING AND HOLD-DOWN CONNECTIONS.

ALTERNATES:

1. ALTERNATE ASSEMBLIES AND MATERIALS WILL BE CONSIDERED FOR REVIEW. ENGINEER MAY REQUEST PAYMENT FOR REVIEW; CONTRACTOR WILL BEAR BURDEN FOR ADDITIONAL PAYMENT AT NO ADDITIONAL COST TO OWNER.

#### SETTLEMENT SHRINKAGE

1. DUE TO CROSS GRAIN WOOD SHRINKAGE, THIS BUILDING IS EXPECTED TO SETTLE APPROXIMATELY 3/8 INCH PER STORY. ALL PLUMBING AND MECHANICAL DUCTS SHALL BE DESIGNED WITH FLEXIBLE JOINTS OR OTHERS MEANS TO APPROPRIATELY ACCOMMODATE THIS NORMAL SETTLEMENT. ALL INTERIOR AND EXTERIOR SHEATHING AND FINISHES SHALL BE INSTALLED SUCH THAT NO DAMAGE WILL OCCUR. SHRINKAGE IS EXPECTED IN THE DEPTH OF THE FLOOR PLATES AND NOT IN THE LENGTH OF THE WALL STUDS.

THE ENGINEER AND/OR ARCHITECT HAVE NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATED TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE CONTRACTOR TO PERFORM HIS WORK. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ENGINEER AND/OR ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS OR THEIR EMPLOYEES, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL, OR OCCUPANCY BY ANY PERSON.

GLB

GR

GYP

HDG

HDR

HF

HG1

Η٦

IN

1T

MAX

MIN

MISC

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WC

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WWF

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T/CONC

SF

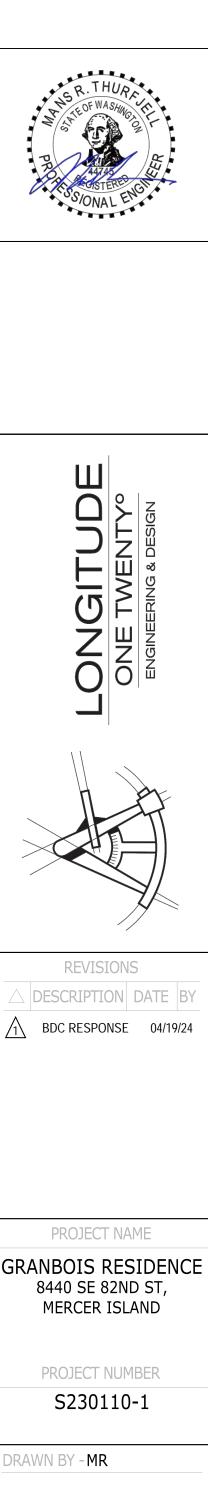


#### JOBSITE SAFETY:

# **ABBREVIATIONS**

| AB     | ANCHOR BOLT           |
|--------|-----------------------|
| ABV    | ABOVE                 |
| AFF    | ABOVE FINISH FLOOR    |
| ALT    | ALTERNATE             |
| ALUM   | ALUMINUM              |
| APPROX | APPROXIMATE           |
| AYC    | ALASKAN YELLOW CEDAR  |
| BB     | BOX BEAM              |
| BF     | BOTTOM FLUSH          |
| BLDG   | BUILDING              |
| BLKG   | BLOCKING              |
| BM     | BEAM                  |
| ВОТ    | BOTTOM                |
| BP     | BOTTOM PLATE          |
| BRG    | BEARING               |
| BTWN   | BETWEEN               |
| BSMT   | BASEMENT              |
| B/W    | BOTTOM OF WALL        |
| CANT   | CANTILEVER            |
| CJ     | CONTROL JOINT         |
| CLG.   | CEILING               |
| CLJ    | CEILING JOIST         |
| CLR    | CLEAR                 |
| CMU    | CONCRETE MASONRY UNIT |
| COL    | COLUMN                |
| CONC   | CONCRETE              |
| CONN   | CONNECTION            |
| CONST  | CONSTRUCTION          |
| CONT   | CONTINUOUS            |
| CTR    | CENTER                |
| DET    | DETAIL                |
| DET    | DOUGLAS FIR (SOUTH)   |
| DFL    | DOUGLAS FIR LARCH     |
| DIM    | DIMENSION             |
| DIM    | DOUBLE JOIST          |
| DIA    | DIAMETER              |
| DIA    | DOWN                  |
|        |                       |
| DS     | DOWN SPOUT            |
| EA     | EACH                  |
| EF     | EACH FACE             |
| EJ     | EXPANSION JOINT       |
| ELEV   | ELEVATION             |
| EN     | EDGE NAILING (PANEL)  |
| EOR    | ENGINEER OF RECORD    |
| EQ     | EQUAL                 |
| ES     | EACH SIDE             |
| EW     | EACH WAY              |
| FB     | FLUSH BEAM            |
| FIN    | FINISH                |
| FL     | FLOOR                 |
| FLSHG  | FLASHING              |
| FND    | FOUNDATION            |
| FP     | FIREPLACE             |
| FT     | FOOT                  |
| FTG    | FOOTING               |
| GA     | GAUGE                 |
| GALV   | GALVANIZED            |
|        |                       |

GLULAM BEAM GRADE GYPSUM WALL BOARD HOT-DIPPED GALVANIZED HEADER HEM FIR HEIGHT HEIGHT INCH JOINT MAXIMUM MINIMUM MISCELLANEOUS NON-BEARING NUMBER ON CENTER PLATE POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED RAFTER REFERENCE REINFORCEMENT REQUIRED REQUIREMENTS SQUARE FOOT SHEATHING SIMILAR SPRUCE PINE FIR STANDARD SOUTHERN YELLOW PINE TOP OF TOP OF BEAM TOP OF CONCRETE TOP OF PLATE TOP OF SLAB TOP OF STEEL TOP OF WALL TOP FLUSH TRIPLE JOIST TOP PLATE THREADED ROD TYPICAL UNLESS NOTED OTHERWISE UNDER POST ABOVE UNDER WALL ABOVE VCB (V.C.B.) VERTICAL CRUSH BLOCKING VERTICAL VERIFY IN FIELD WITH WESTERN CEDAR WATERPROOF WELDED WIRE FABRIC



CHECKED BY - MRT

SHEET DATE - 04/19/2024

SCALE

24X36 SHEET:1/4"=1'-0" Б П  $\cap$ Ζ

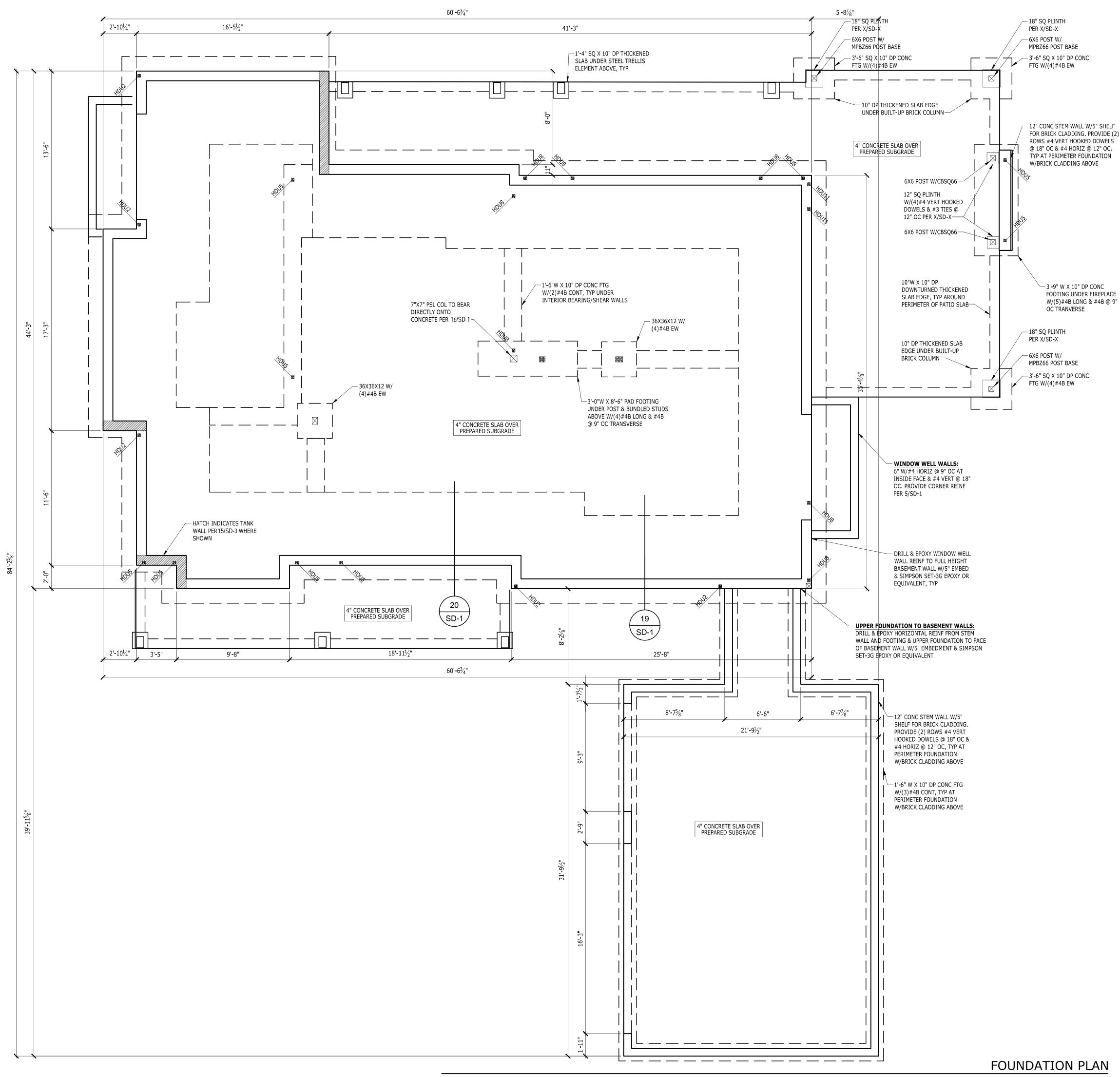
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# **FOUNDATION NOTES**

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PROVIDED DIMENSIONS ARE TO FACE OF CONCRETE STEM WALL OR CENTER OF INDIVIDUAL FOOTING. OUTSIDE FACE OF STEM WALL ALIGNS WITH OUTSIDE FACE OF STUD WALL UNO. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD/HTT HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- 3. VERIFY ALL T/CONC ELEVATIONS ON ALL CONCRETE INCLUDING PARTIAL HEIGHT RETAINING WALLS. CONCRETE TO EXTEND MIN 8" ABOVE FINISHED GRADE. PROVIDE 1" RECESS AT DOUBLE SIDED SHEARWALLS TO ACCOMODATE 3X SILL PLATE.
- 4. FOOTINGS ARE TO BEAR ON COMPETENT NATIVE SOIL OR STRUCTURAL FILL CAPABLE OF SUPPORTING THE ASSUMED BEARING PRESSURE PER GENERAL NOTES. REFERENCE GEOTECHNICAL REPORT (IF AVAILABLE) FOR SUBGRADE PREPARATION, FILL REQUIREMENTS, FOOTING DRAINS, AND OTHER REQUIREMENTS. REFERENCE ARCH SET (OR OTHERS IF APPLICABLE) FOR FOOTING DRAINS AROUND PERIMETER OF BUILDING.
- 5. PRIOR TO POURING CONCRETE CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS OF ALL FOUNDATION OPENINGS, PENETRATIONS, AND SLOPES.
- 6. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- 7. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- HOLDOWNS BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER SPECIFICATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. HOLDOWN THREADED RODS SHALL BE ASTM F1554 (36KSI) HDG UNO. EMBEDDED END OF THREADED ROD TO HAVE 3"X3"X1/4" HDG PLATE WASHER BETWEEN TWO HAND-TIGHTENED HDG STANDARD NUTS.
- 9. CJ INDICATES CONTROL JOINT. 10. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS
- BY OTHERS.
- 11. EXTERIOR STAIRS AND STEEL-FRAMED STAIRS BY OTHERS. 12. TYPICAL DETAILS:
- 1/SD-1 TYP STEMWALL
- 2/SD-1 TYP STEM WALL W/BRICK
- 4/SD-1 TYP FOOTING STEP • 5/SD-1 TYP CORNER BARS REQ'T
- 7/SD-1 TYP CONSTRUCTION JOINT
- 8/SD-1 TYP BAR BEND AND HOOK DETAIL
- 11/SD-1 TYP HOLDOWN INSTALLATION
- 12/SD-1 TYP PONY WALL DETAIL

| HOLDOWN SCHEDULE |           |           |              |
|------------------|-----------|-----------|--------------|
| MODEL            | ANCHOR    | EMBEDMENT | MIN END POST |
| CS16/CS14        | -         | -         | 1-2X EA      |
| MST#             | -         | -         | 2-2X OR 3X   |
| STHD14/STHD14RJ  | -         | -         | 2-2X OR 3X   |
| HDU2             | 5/8" TR   | 12"       | 2-2X OR 3X   |
| HDU5             | 5/8" TR   | 12"       | 2-2X         |
| HDU8             | 7/8" TR   | 12"       | 3-2X         |
| HDU11            | 1" TR     | 12"       | 6X6          |
| HDU14            | 1" TR     | 15"       | 6X6          |
| HD19             | 1 1/4" TR | 15"       | 6X6          |

# FOUNDATION LEGEND

- INDICATES STEP AT T/FOUNDATION
- INDICATES STEP AT B/FOUNDATION

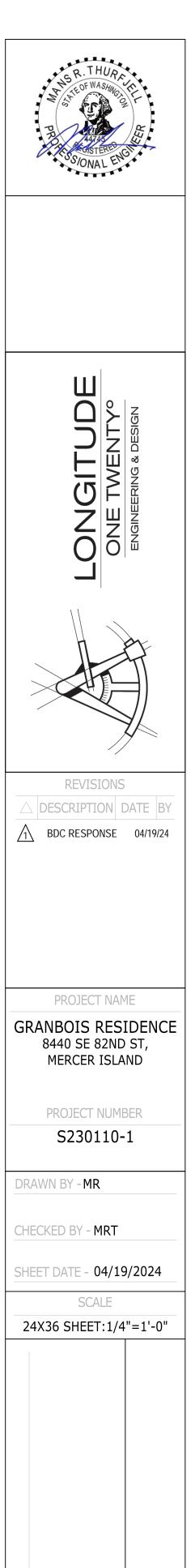
TANK WALL (TOP OF WALL NOT TO

- ETAMDI-

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- STEP WITHIN HATCHED REGION) HOLDOWN BY SIMPSON (STHD/HDU/HD/HTT, TYP)
- FOOTING CENTERED ON POST (L X W X T)



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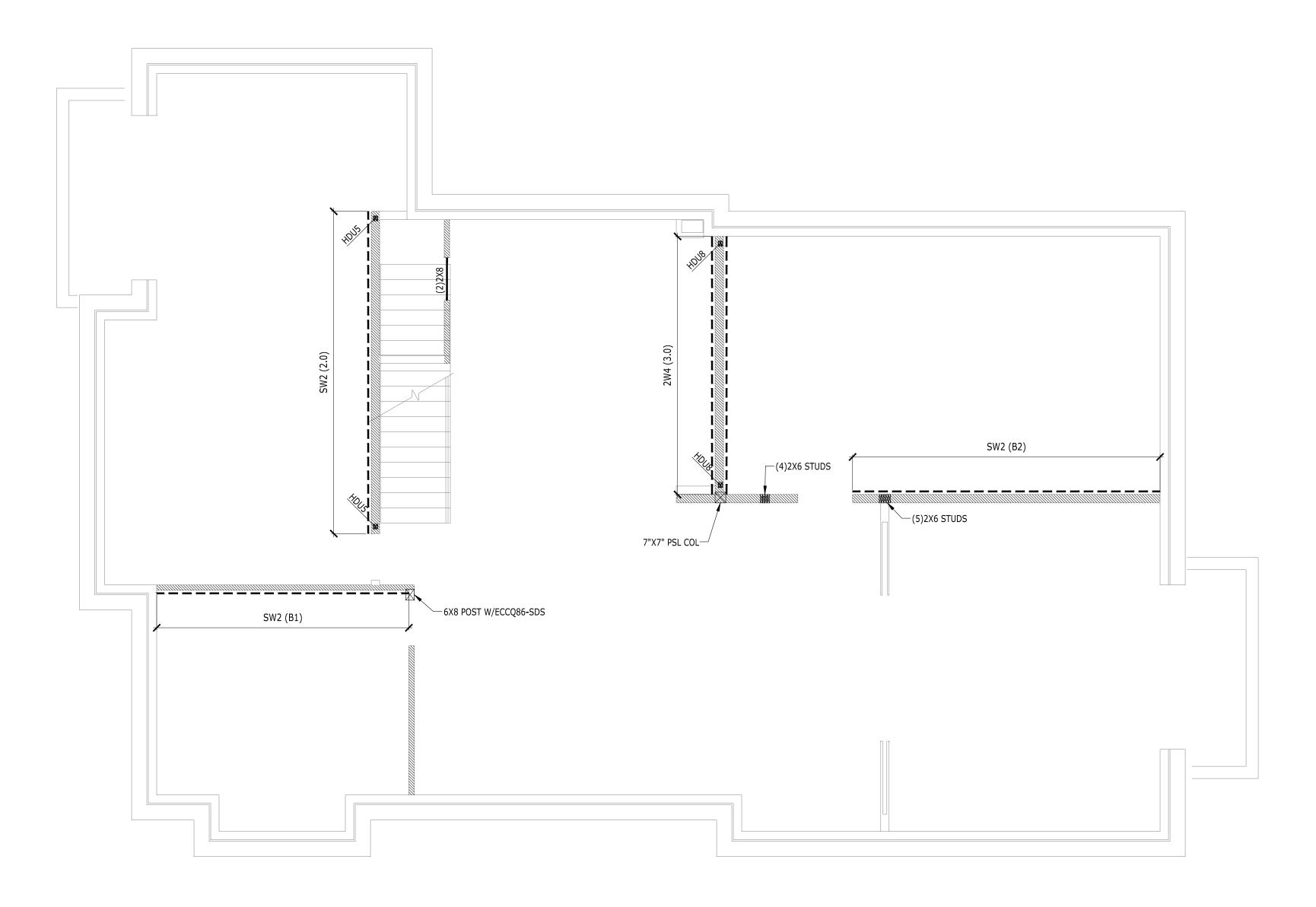
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#### SHEAR WALL SCHEDULE

|      |                         | PANEL EDGE NAILING       | PANEL |                      | RIM CONNECTION                 |                    |                           |                                               |
|------|-------------------------|--------------------------|-------|----------------------|--------------------------------|--------------------|---------------------------|-----------------------------------------------|
| WALL | SHEATHING               | (COMMON (GALV)<br>NAILS) |       | EDGE<br>STUDS        | ANCHOR BOLTS<br>5/8"Ø EMBED 7" | AT MUD SILL/ PLATE | AT ROOF EAVE<br>TOP PLATE | AT SILL PLATE<br>(SINKER NAIL .148Ø x 3 1/4") |
| SW6  | 7/16" APA PLY ONE SIDE  | 8d AT 6" O.C.            | 2x    | 48" O.C. IN 2x PLATE | LTP4 AT 24" O.C.               | RBC AT 16" O.C.    | 16d AT 6" O.C.            |                                               |
| SW4  | 7/16" APA PLY ONE SIDE  | 8d AT 4" O.C.            | 2x    | 32" O.C. IN 2x PLATE | LTP4 AT 16" O.C.               | RBC AT 12" O.C.    | 16d AT 4" O.C.            |                                               |
| SW3  | 7/16" APA PLY ONE SIDE  | 8d AT 3" O.C.            | 3x    | 16" O.C. IN 2x PLATE | LTP4 AT 16" O.C.               | RBC AT 8" O.C.     | 16d AT 3" O.C.            |                                               |
| SW2  | 7/16" APA PLY ONE SIDE  | 8d AT 2" O.C.            | 3x    | 12" O.C. IN 2x PLATE | LTP4 AT 12" O.C.               | RBC AT 8" O.C.     | 16d AT 2" O.C.            |                                               |
| 2W4  | 7/16" APA PLY TWO SIDES | 8d AT 4" O.C. EA SIDE    | 3x    | 24" O.C. IN 3x PLATE | LTP4+A35 @ 16" O.C. EA SIDE    | N.A. AT ROOF EAVE  | (2) ROWS 16d AT 4" O.C.   |                                               |
| 2W3  | 7/16" APA PLY TWO SIDES | 8d AT 3" O.C. EA SIDE    | 3x    | 16" O.C. IN 3x PLATE | LTP4+A35 @ 16" O.C. EA SIDE    | N.A. AT ROOF EAVE  | (2) ROWS 16d AT 3" O.C.   |                                               |
| 2W2  | 7/16" APA PLY TWO SIDES | 8d AT 2" O.C. EA SIDE    | 3x    | 16" O.C. IN 3x PLATE | LTP4+A35 @ 12" O.C. EA SIDE    | N.A. AT ROOF EAVE  | (2) ROWS 16d AT 2" O.C.   |                                               |

## BASEMENT WALL FRAMING AND SHEAR WALL PLAN

NOTES: 1) FOR NON-SHEAR WALL, PROVIDE ANCHOR BOLTS @ 72" O.C.

# WALL FRAMING AND SHEAR WALL NOTES

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- 3. LUMBER GRADE PER GENERAL STRUCTURAL NOTES. 4. ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED
- TOGETHER WITH 16d @ 6"O.C.
- 5. EXTERIOR WALL STUDS SHALL BE 2X6 @ 16"O.C. (≤10'), 2X6 @ 12"O.C. (>10') UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16"O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 6. PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
- 7. SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
- 8. ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
- 9. PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO. PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
- 10. SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C (4" O.C. @ SW2 AND 2W2). AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
- 11. LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.131Ø X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
- 12. WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
- 13. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- 14. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- 15. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 16. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 17. TYPICAL DETAILS:
- 11/SD-1 TYP HOLDOWN INSTALLATION
- 12/SD-1 TYP PONY WALL DETAIL
- 14/SD-3 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG
- DRAG CONNECTION
- 15/SD-3 TYP BEAM-TO-T/PL DRAG CONNECTION 20/SD-3 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 11/SD-2 TYP NON-BEARING WALL FRAMING
- 16/SD-2 TYP TOP PLATE SPLICE
- 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS
- 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL • 3/SD-2 TYP HEADER FRAMING

### FRAMING AND SHEATHING LEGEND

| N -   |
|-------|
|       |
| 12/2  |
| 71.14 |

HOLDOWN BY SIMPSON (STHD/MST/HDU/HD, TYP)

INTERIOR BEARING WALL

#K - INDICATES THE NUMBER OF KING AND JACK STUDS #]

- - - INDICATES SHEARWALL LOCATION (SW# - SHEAR WALL MARK)

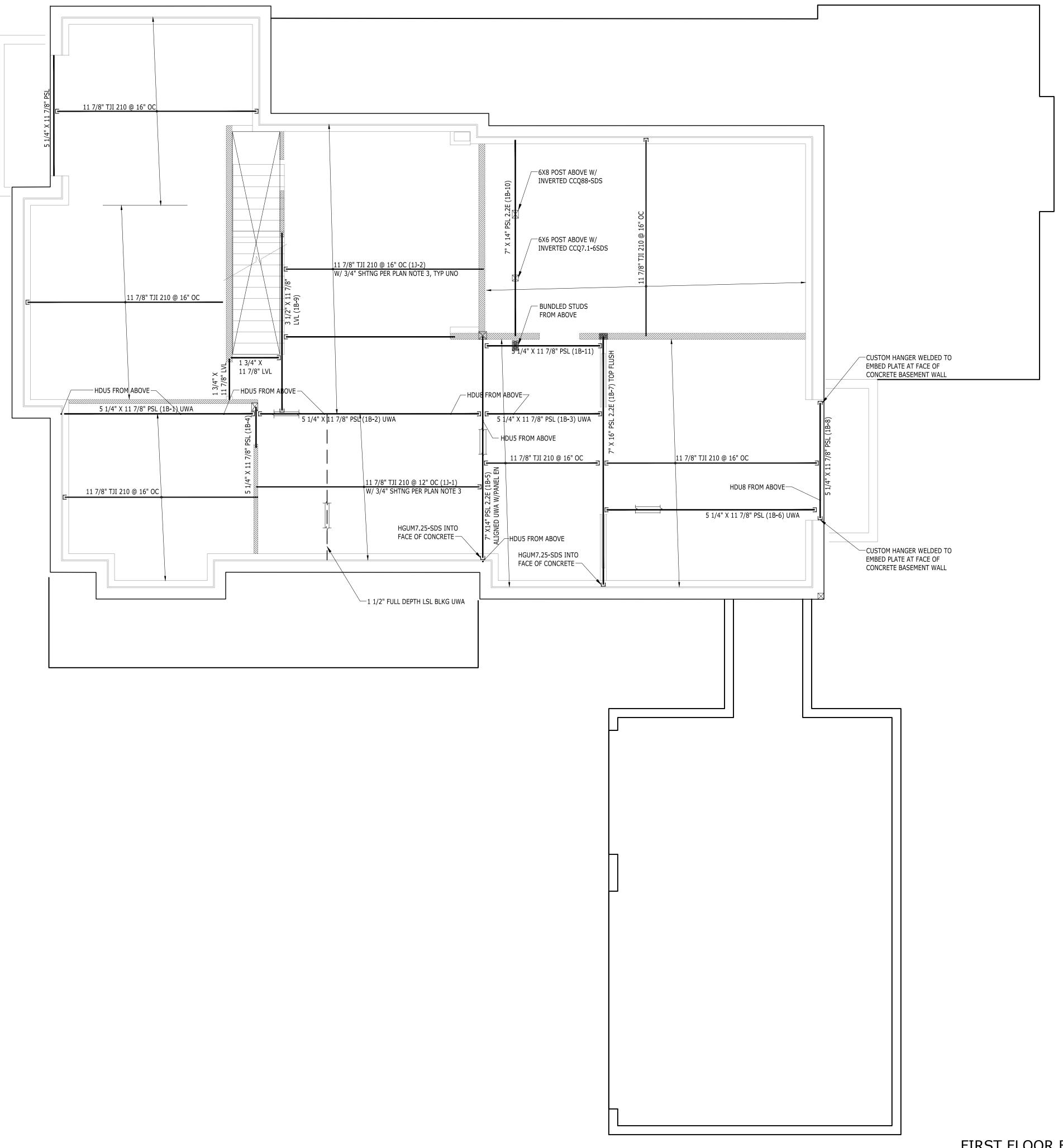
- CS16 HORIZONTAL STRAP (EXAMPLE)
- HEADER

SW6 (A.1) - SHEAR WALL CALLOUT REFERENCE TO WALL DESIGNATION IN THE CALCULATION PACKAGE - REFERENCE TO SHEAR WALL TYPE PER SHEAR WALL SCHEDULE

3 1/8" X 9" GLB (FH-5) - EXAMPLE - REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE BEAM OR TRUSS MEMBER

states R.THURA ONGITUDE REVISIONS DESCRIPTION DATE BY /1 BDC RESPONSE 04/19/24 PROJECT NAME **GRANBOIS RESIDENCE** 8440 SE 82ND ST, MERCER ISLAND PROJECT NUMBER S230110-1 DRAWN BY - MR CHECKED BY - MRT SHEET DATE - 04/19/2024 SCALE 24X36 SHEET:1/4"=1'-0" BASEMENT WALL FRAMING AND SHEAR WALL PLAN

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# **FLOOR FRAMING NOTES**

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REVISIONS

/1 BDC RESPONSE 04/19/24

PROJECT NAME

GRANBOIS RESIDENCE

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MERCER ISLAND

PROJECT NUMBER

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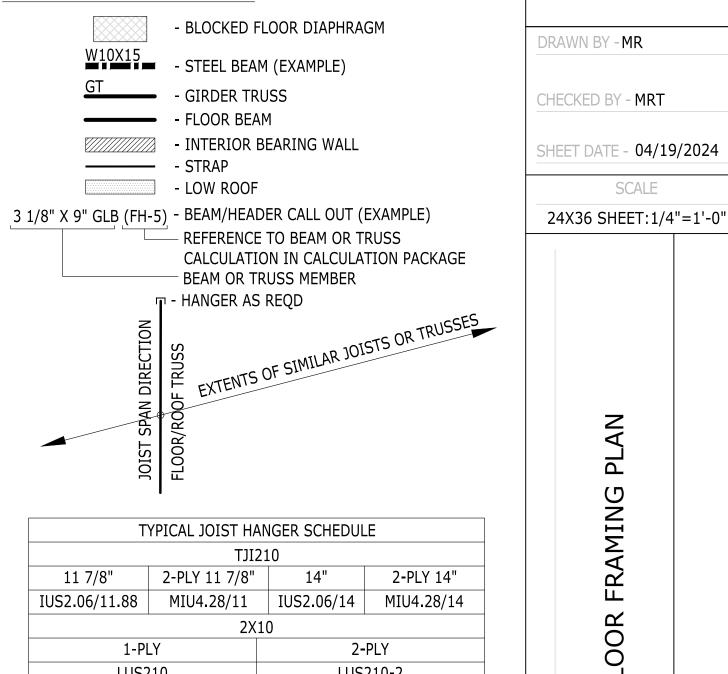
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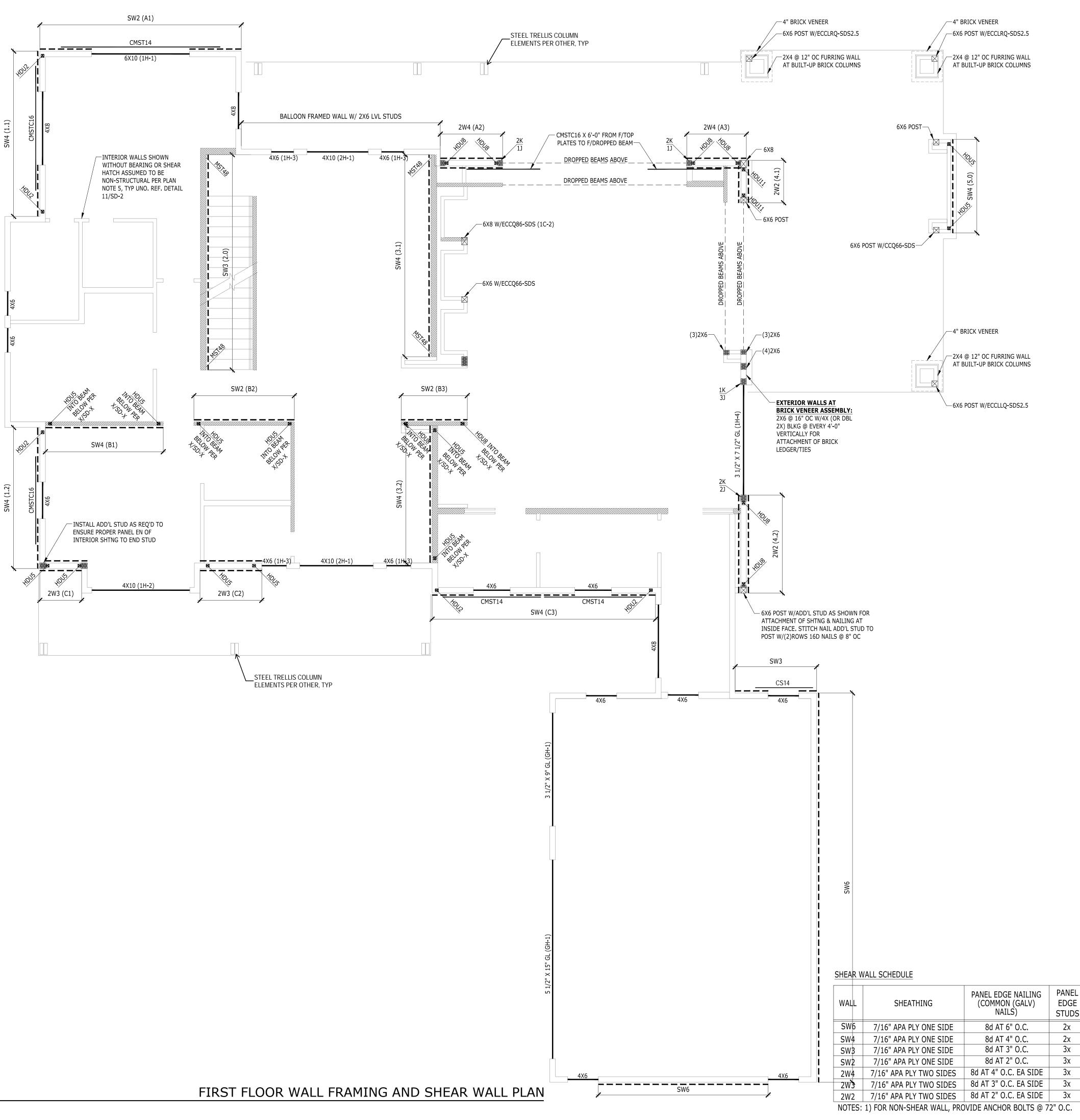
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- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- 3. FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- 4. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- 5. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- 6. ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- 7. ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 8. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- 9. ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- 10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- 11. ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 12. ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- 13. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 14. TYPICAL DETAILS: • 13/SD-3 TYP DROPPED BEAM AT CUT PLATES
  - 14/SD-3 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
  - 15/SD-3 TYP BEAM-TO-T/PL DRAG CONNECTION
  - 20/SD-3 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
  - 11/SD-2 TYP NON-LOAD BEARING WALL FRAMING
  - 13/SD-2 TYP FRAMING AT INTERIOR BEARING WALL

# FRAMING LEGEND



| 2X10                         |            |       |        |             |               |
|------------------------------|------------|-------|--------|-------------|---------------|
| 1-PLY                        |            |       | 2-PLY  |             |               |
| LUS210                       |            |       |        | LUS21       | 0-2           |
| TYPICAL BEAM HANGER SCHEDULE |            |       |        |             |               |
| LVL / LS                     |            |       | SL / P | SL          |               |
|                              | 1 3/4"     | 3 1/2 |        | 5 1/4"      | 7"            |
| 11 7/8"                      | HUS1.81/10 | HHUS4 | -10    | HGUS5.50/1  | 2 HGUS7.25/12 |
| 14"                          | HUS1.81/10 | HHUS4 | 10     | HGUS5.50/1- | 4 HGUS7.25/14 |



# WALL FRAMING AND SHEAR WALL NOTES

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. LUMBER GRADE PER GENERAL STRUCTURAL NOTES.
- 4. ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED
- TOGETHER WITH 16d @ 6"O.C.
- 5. EXTERIOR WALL STUDS SHALL BE 2X6 @ 16"O.C. (≤10'), 2X6 @ 12"O.C. (>10') UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16"O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 6. PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
- 7. SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
- 8. ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
- 9. PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO. PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
- 10. SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C (4" O.C. @ SW2 AND 2W2). AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
- 11. LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.131Ø X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
- 12. WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
- 13. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- 14. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- 15. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 16. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 17. TYPICAL DETAILS:
- 9/SD-1 TYP STHD HOLDOWN INSTALLATION
- 10/SD-1 TYP STHD HOLDOWN SECTION
- 11/SD-1 TYP HOLDOWN INSTALLATION
- 12/SD-1 TYP PONY WALL DETAIL
- 14/SD-3 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG
- DRAG CONNECTION
- 15/SD-3 TYP BEAM-TO-T/PL DRAG CONNECTION
- 20/SD-3 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 11/SD-2 TYP NON-BEARING WALL FRAMING
- 16/SD-2 TYP TOP PLATE SPLICE
- 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS • 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL
- 3/SD-2 TYP HEADER FRAMING

# FRAMING AND SHEATHING LEGEND

|                                                                  | HOLDOWN BY SIMPSON<br>(STHD/MST/HDU/HD, TYP) |                           |                                                      |      |                            |  |
|------------------------------------------------------------------|----------------------------------------------|---------------------------|------------------------------------------------------|------|----------------------------|--|
|                                                                  | - INTERIOR BEARING WALL                      |                           |                                                      |      |                            |  |
|                                                                  | #K<br>#J - INDICATES T                       | HE NUMBER OF KING A       | ND JACK STUDS                                        |      |                            |  |
|                                                                  |                                              | HEARWALL LOCATION (       | SW# - SHEAR WALL MARK)                               |      |                            |  |
|                                                                  | HORIZONTAL                                   | STRAP (EXAMPLE)           |                                                      |      |                            |  |
|                                                                  | SW6 (A.1) - SHEAR WALL                       | CALLOUT                   |                                                      |      | ( ר)                       |  |
|                                                                  | REFERENCE 1                                  |                           | IN THE CALCULATION PACKAGE<br>ER SHEAR WALL SCHEDULE |      | FRAMING<br>AN              |  |
| 3 1/8" X 9                                                       | 9" GLB (FH-5) - EXAMPLE                      |                           |                                                      |      | AN<br>AN                   |  |
| REFERENCE TO BEAM OR TRUSS CALCULATION IN<br>CALCULATION PACKAGE |                                              |                           |                                                      |      |                            |  |
|                                                                  | BEAM OR TRU                                  | JSS MEMBER                |                                                      |      | ALL                        |  |
|                                                                  |                                              | RIM CONNECTION            |                                                      |      | ∧ ∧                        |  |
| BOLTS<br>BED 7"                                                  | AT MUD SILL/ PLATE                           | AT ROOF EAVE<br>TOP PLATE | AT SILL PLATE<br>(SINKER NAIL .148Ø x 3 1/4")        |      | F FLOOR WALI<br>SHFAR WALI |  |
| 2x PLATE                                                         | LTP4 AT 24" O.C.                             | RBC AT 16" O.C.           | 16d AT 6" O.C.                                       |      |                            |  |
| 2x PLATE                                                         | LTP4 AT 16" O.C.                             | RBC AT 12" O.C.           | 16d AT 4" O.C.                                       | Z    | III I                      |  |
| 2x PLATE                                                         | LTP4 AT 16" O.C.                             | RBC AT 8" O.C.            | 16d AT 3" O.C.                                       | NOIT |                            |  |

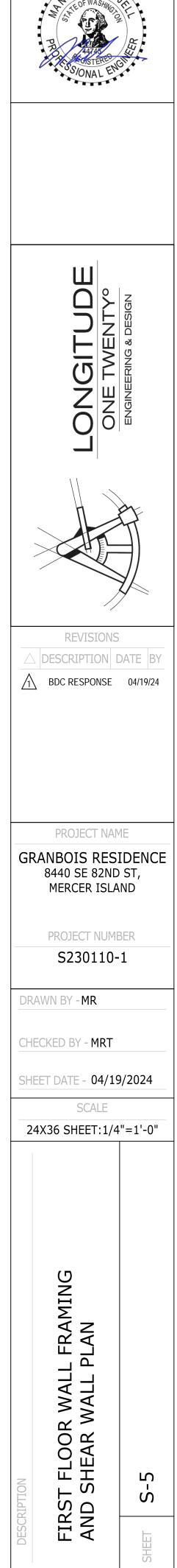
16d AT 2" O.C.

(2) ROWS 16d AT 4" O.C.

(2) ROWS 16d AT 3" O.C.

(2) ROWS 16d AT 2" O.C.

RBC AT 8" O.C.



1 LL R.THURE

EDGE

STUDS

3x

3x

3x

ANCHOR BOLTS

5/8"Ø EMBED 7"

16" O.C. IN 2x PLATE

LTP4 AT 12" O.C.

24" O.C. IN 3x PLATE LTP4+A35 @ 16" O.C. EA SIDE N.A. AT ROOF EAVE

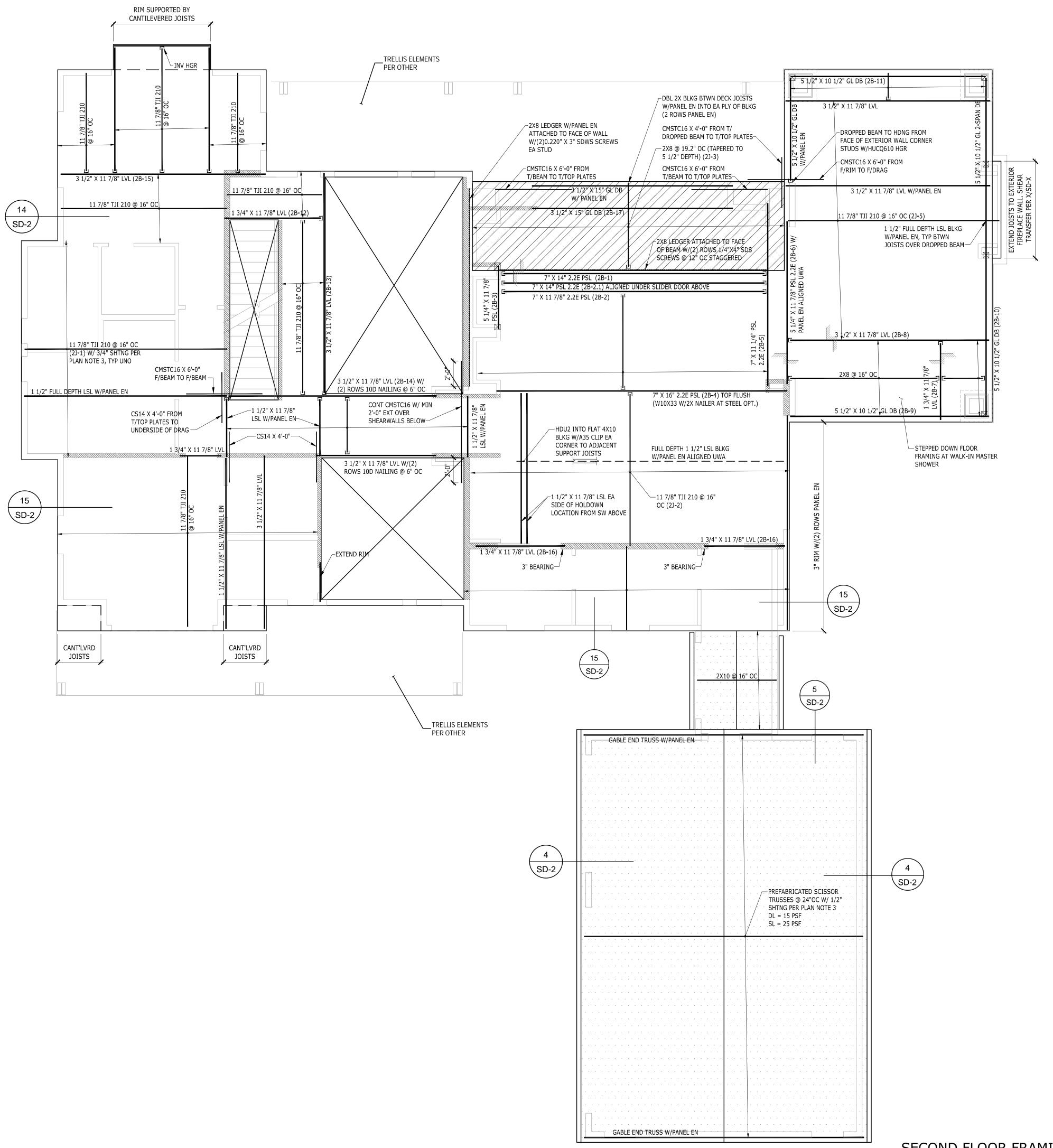
16" O.C. IN 3x PLATE LTP4+A35 @ 16" O.C. EA SIDE N.A. AT ROOF EAVE

16" O.C. IN 3x PLATE | LTP4+A35 @ 12" O.C. EA SIDE | N.A. AT ROOF EAVE

12" O.C. IN 2x PLATE

2x 48" O.C. IN 2x PLATE

2x 32" O.C. IN 2x PLATE



# **FLOOR FRAMING NOTES**

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SR. THURA

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REVISIONS

/1 BDC RESPONSE 04/19/24

PROJECT NAME

**GRANBOIS RESIDENCE** 

8440 SE 82ND ST,

MERCER ISLAND

PROJECT NUMBER

S230110-1

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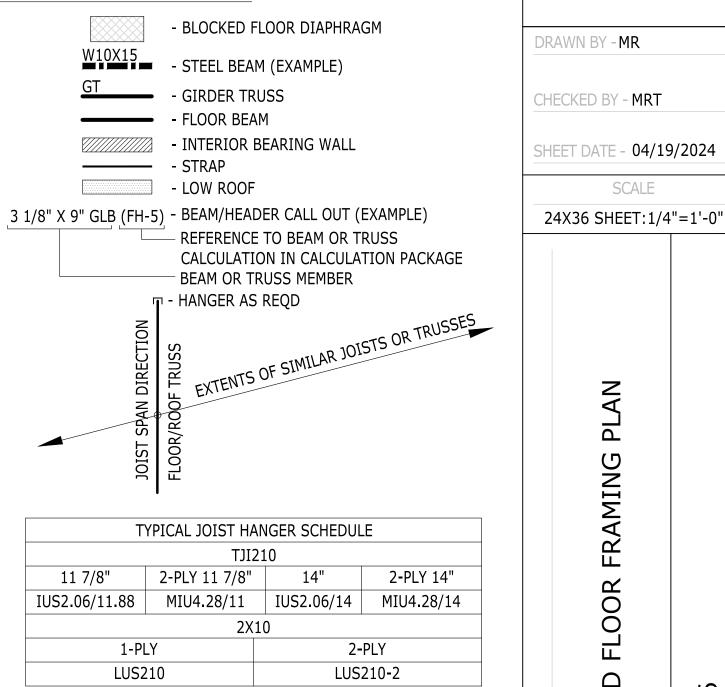
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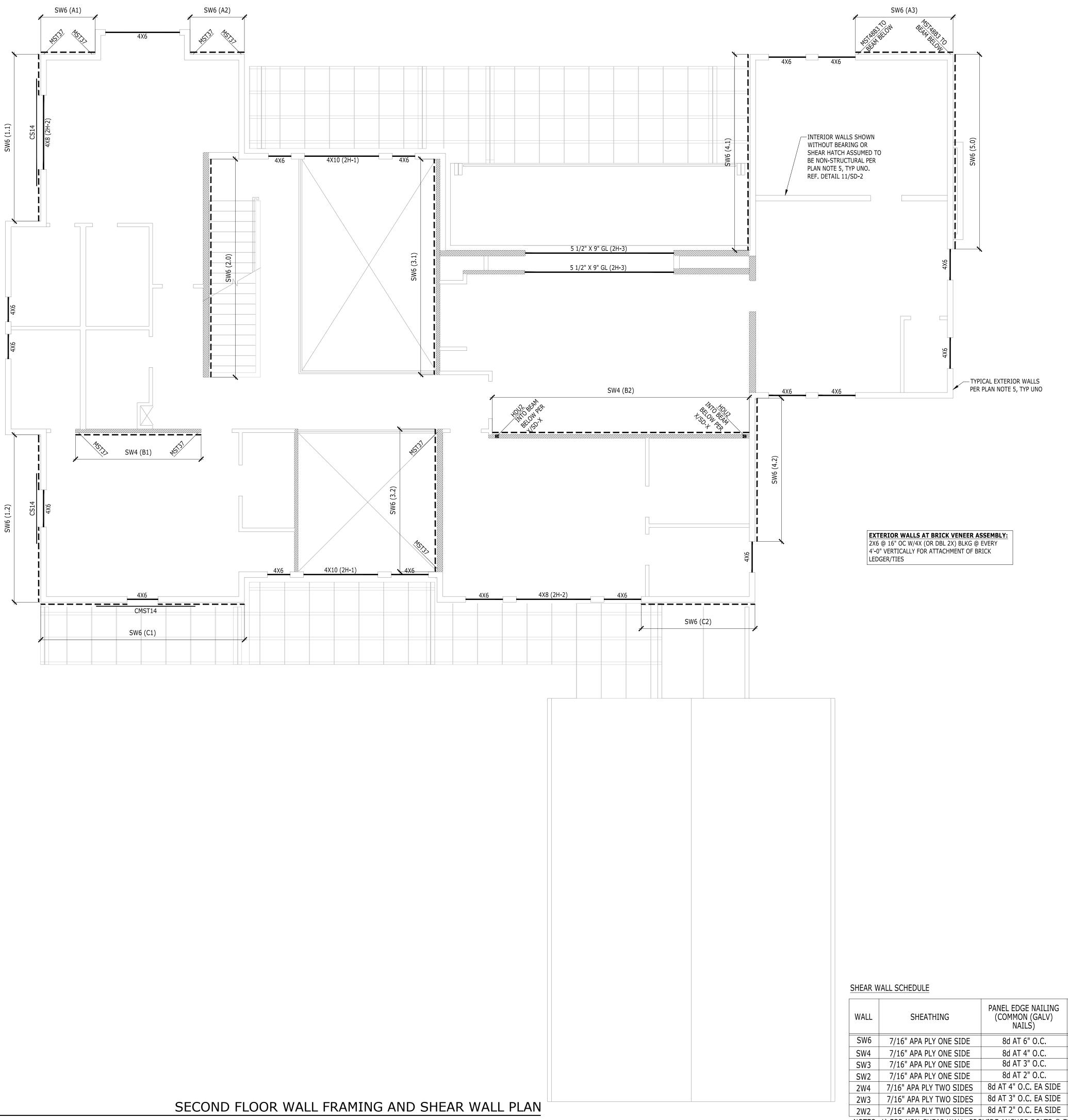
DESCRIPTION DATE BY

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- 4. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- 5. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- 6. ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- 7. ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 8. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- 9. ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- 10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- 11. ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 12. ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- 13. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 14. TYPICAL DETAILS: • 13/SD-3 TYP DROPPED BEAM AT CUT PLATES
- 14/SD-3 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
- 15/SD-3 TYP BEAM-TO-T/PL DRAG CONNECTION
- 20/SD-3 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 11/SD-2 TYP NON-LOAD BEARING WALL FRAMING
- 13/SD-2 TYP FRAMING AT INTERIOR BEARING WALL

# FRAMING LEGEND



TYPICAL BEAM HANGER SCHEDULE LVL / LSL / PSL 1 3/4" 3 1/2" 5 1/4" 11 7/8" | HUS1.81/10 | HHUS410 | HGUS5.50/12 | HGUS7.25/12 | 14" HUS1.81/10 HHUS410 HGUS5.50/14 HGUS7.25/14



# WALL FRAMING AND SHEAR WALL NOTES

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REVISIONS

DESCRIPTION DATE BY

BDC RESPONSE 04/19/24

PROJECT NAME

**GRANBOIS RESIDENCE** 

8440 SE 82ND ST,

MERCER ISLAND

PROJECT NUMBER

S230110-1

DRAWN BY - MR

CHECKED BY - MRT

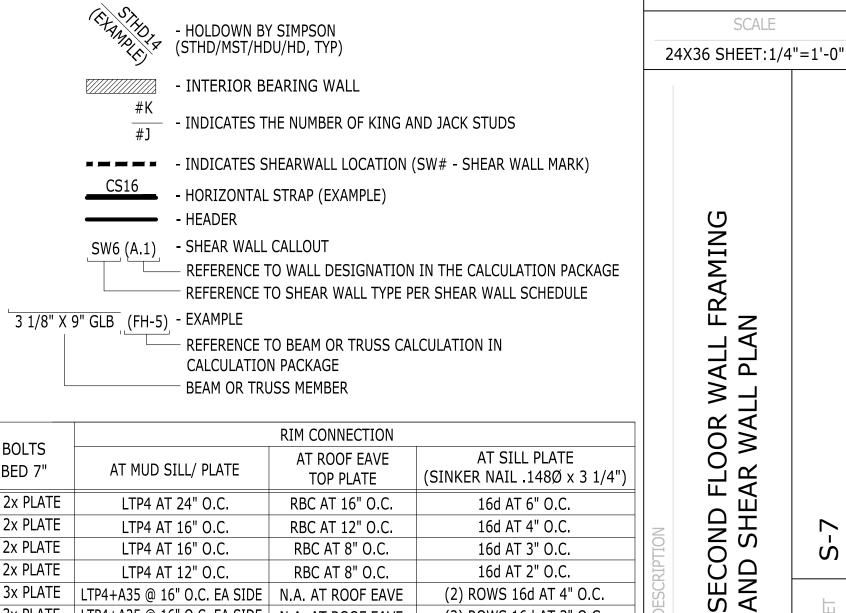
SHEET DATE - 04/19/2024

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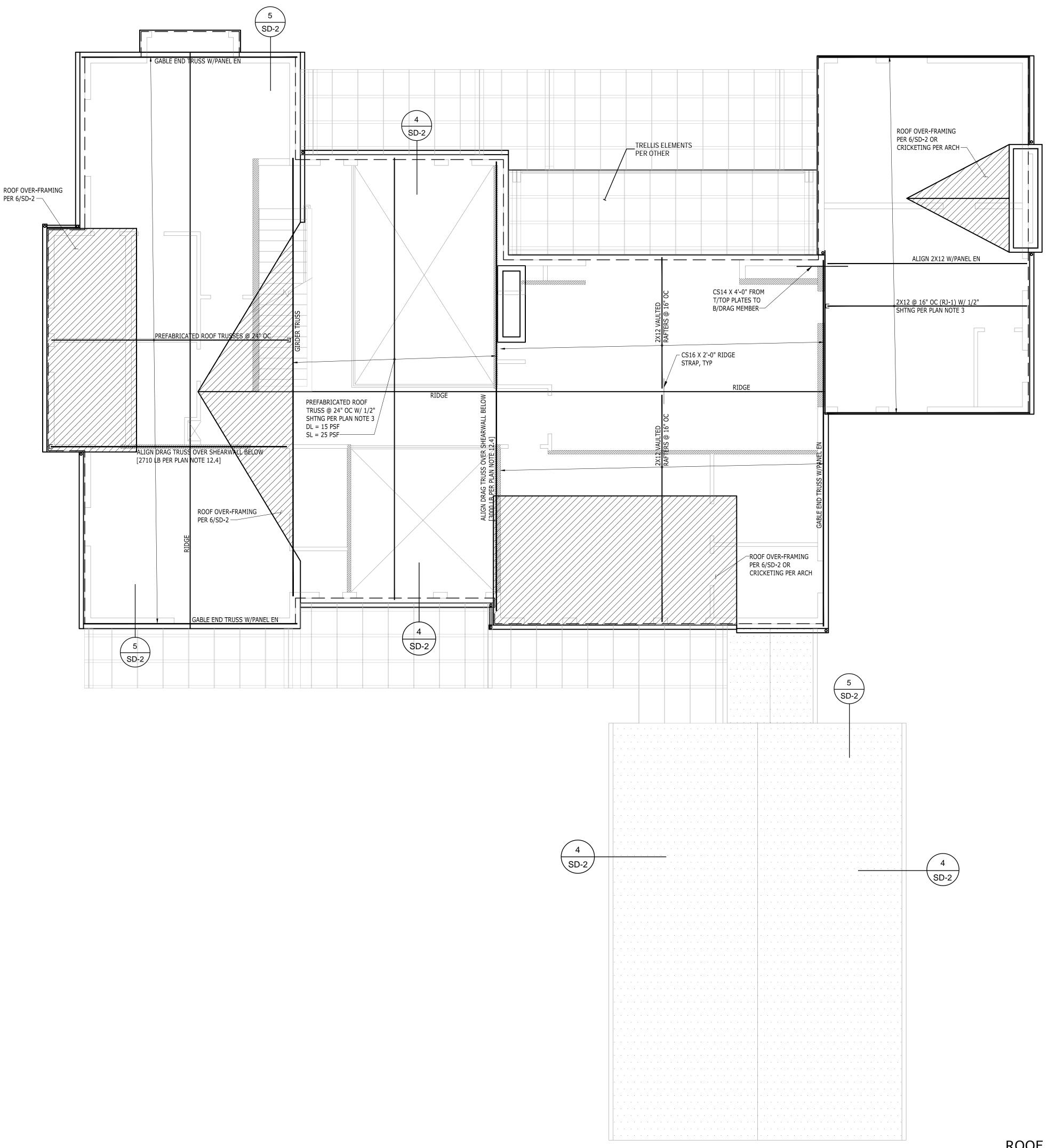
- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. 3. LUMBER GRADE PER GENERAL STRUCTURAL NOTES.
- 4. ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED
- TOGETHER WITH 16d @ 6"O.C.
- 5. EXTERIOR WALL STUDS SHALL BE 2X6 @ 16"O.C. (≤10'), 2X6 @ 12"O.C. (>10') UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16"O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 6. PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
- 7. SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
- 8. ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
- 9. PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO. PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
- 10. SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C (4" O.C. @ SW2 AND 2W2). AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
- 11. LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.131Ø X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
- 12. WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
- 13. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- 14. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- 15. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 16. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 17. TYPICAL DETAILS: • 9/SD-1 TYP STHD HOLDOWN INSTALLATION
  - 10/SD-1 TYP STHD HOLDOWN SECTION
  - 11/SD-1 TYP HOLDOWN INSTALLATION
  - 12/SD-1 TYP PONY WALL DETAIL
  - 14/SD-3 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG
  - DRAG CONNECTION
  - 15/SD-3 TYP BEAM-TO-T/PL DRAG CONNECTION
  - 20/SD-3 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
  - 11/SD-2 TYP NON-BEARING WALL FRAMING
  - 16/SD-2 TYP TOP PLATE SPLICE
  - 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS
  - 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL • 3/SD-2 TYP HEADER FRAMING

# FRAMING AND SHEATHING LEGEND



| PANEL |               |                                | RIM CONNECTION              |                           |                                               |        |
|-------|---------------|--------------------------------|-----------------------------|---------------------------|-----------------------------------------------|--------|
|       | EDGE<br>STUDS | ANCHOR BOLTS<br>5/8"Ø EMBED 7" | AT MUD SILL/ PLATE          | AT ROOF EAVE<br>TOP PLATE | AT SILL PLATE<br>(SINKER NAIL .148Ø x 3 1/4") |        |
|       | 2x            | 48" O.C. IN 2x PLATE           | LTP4 AT 24" O.C.            | RBC AT 16" O.C.           | 16d AT 6" O.C.                                |        |
|       | 2x            | 32" O.C. IN 2x PLATE           | LTP4 AT 16" O.C.            | RBC AT 12" O.C.           | 16d AT 4" O.C.                                | $\geq$ |
|       | 3x            | 16" O.C. IN 2x PLATE           | LTP4 AT 16" O.C.            | RBC AT 8" O.C.            | 16d AT 3" O.C.                                |        |
|       | 3x            | 12" O.C. IN 2x PLATE           | LTP4 AT 12" O.C.            | RBC AT 8" O.C.            | 16d AT 2" O.C.                                | CRIP   |
|       | 3x            | 24" O.C. IN 3x PLATE           | LTP4+A35 @ 16" O.C. EA SIDE | N.A. AT ROOF EAVE         | (2) ROWS 16d AT 4" O.C.                       | ESO    |
|       | 3x            | 16" O.C. IN 3x PLATE           | LTP4+A35 @ 16" O.C. EA SIDE | N.A. AT ROOF EAVE         | (2) ROWS 16d AT 3" O.C.                       |        |
|       | 3x            | 16" O.C. IN 3x PLATE           | LTP4+A35 @ 12" O.C. EA SIDE | N.A. AT ROOF EAVE         | (2) ROWS 16d AT 2" O.C.                       |        |
| -     |               |                                |                             |                           |                                               |        |

NOTES: 1) FOR NON-SHEAR WALL, PROVIDE ANCHOR BOLTS @ 72" O.C.



ROOF FRAMING PLAN

# **ROOF FRAMING NOTES**

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. ROOF SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE
- GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- 4. ALL ROOF TRUSSES SHALL BE SPACED NO FURTHER APART THAN 24" O.C. AND SHALL BE CONNECTED TO TOP PLATE WITH H2.5 TIE UNO.
- 5. ALL GIRDER TRUSSES SHALL BE CONNECTED TO TOP PLATE WITH TWO H6 TIES UNO.
- 6. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH ROOF FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- 7. ALL BEAMS AND GIRDER TRUSSES SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- 8. ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL 9. REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- 10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN UNO.
- 11. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS. HANGERS FOR ROOF TRUSSES BY OTHERS.
- 12. ENGINEERED ROOF JOISTS AND ROOF TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- 12.1. STANDARD DEAD AND LIVE LOADS SHALL BE USED FOR TRUSS DESIGN. REFERENCE STRUCTURAL GENERAL NOTES FOR MORE INFORMATION.
- 12.2. CHANGES TO LAYOUT MUST BE SUBMITTED TO THE ARCHITECT AND EOR FOR REVIEW AND APPROVAL.
- 12.3. TRUSS SUBMITTAL PACKAGE TO BE PROVIDED TO EOR FOR REVIEW. REFERENCE STRUCTURAL GENERAL NOTES FOR SUBMITTAL REQUIREMENTS.
- 12.4. (XXX LBS SHEAR/DRAG) INDICATES SHEAR TRANSFER LOAD. SHEAR TRUSS SHALL BE DESIGNED TO BE ABLE TO TRANSFER SPECIFIED LATERAL LOAD APPLIED AT THE TOP CHORD TO THE BOTTOM CHORD AND INTO SHEARWALL BELOW.
- 12.5. ROOF TRUSSES SHOULD BE DESIGNED FOR ADDITIONAL LOADS WHERE APPLICABLE AS SPECIFIED BY THE ARCHITECT (I.E. MECHANICAL UNITS, ROOF DECKS AND PATIOS, GREEN ROOFS, SOLAR UNITS AND ETC).
- 12.6. TRUSS DESIGN FOR BEARING AT TOP PLATES TO BE DESIGNED FOR COMPRESSION PERPENDICULAR TO GRAIN. 13. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY
- OTHERS. 14. ROOF COVERINGS AND ROOFING MATERIAL BY OTHERS.
- 15. ROOF DRAINAGE BY OTHERS.
- 16. ATTIC VENTILATION BY OTHERS.
- 17. FOR TYPICAL INSTALLATION DETAILS REFERENCE TO:
- 13/SD-3 TYP DROPPED BEAM AT CUT PLATES
- 14/SD-3 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
- 15/SD-3 TYP BEAM-TO-T/PL DRAG CONNECTION
- 20/SD-3 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 11/SD-2 TYP NON-LOAD BEARING WALL FRAMING
- 4/SD-2 TYP HIP ROOF FRAMING • 5/SD-2 TYP GABLE END ROOF FRAMING
- 6/SD-2 TYP ROOF OVERFRAMING
- 7/SD-2 TYP INTERIOR SHEAR TRUSS
- 8/SD-2 TYP INTERIOR OFFSET SHEAR TRUSS
- 9/SD-2 TYP TRUSS BLOCKING

### FRAMING LEGEND

- GIRDER OR GABLE END TRUSS

| - INTERIOR BEARING WALL |
|-------------------------|
| - ROOF OVERERAMING      |

- ROOF OVERFRAMING
- 3 1/8" X 9" GLB (FH-5) EXAMPLE
  - REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE BEAM OR TRUSS MEMBER





