

ABBREVIATIONS

Table of abbreviations and their meanings, including terms like AT CENTERLINE, JAN. JANITOR, and MARB. MARBLE.

SYMBOL LEGEND

Table of symbols and their meanings, including symbols for detail bug, building section, datum, revision, north arrow, interior elevation reference, room identification, opening number, and wall/partition type.

GRANBOIS RESIDENCE
8440 SE 82ND STREET MERCER ISLAND, WA 98040

PERMIT SET

April 7, 2023

CODE COMPLIANCE:

ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND AMENDMENTS IN USE AT THE TIME OF APPLICATION FOR PERMIT:

- 2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL RESIDENTIAL CODE
WASHINGTON STATE AMENDMENTS
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 UNIFORM PLUMBING CODE
WASHINGTON STATE ENERGY CODES
2018 INTERNATIONAL SWIMMING POOL AND SPA CODES
2017 LIQUEFIED PETROLEUM GAS CODE
2018 NATIONAL FUEL GAS CODE

GENERAL CONSTRUCTION NOTES:

ALL DIMENSIONS & NOTES ON THE ARCHITECTURAL DRAWINGS & ENGINEERING CALCULATIONS TAKE PRECEDENT OVER ALL GENERAL NOTES ON THIS SHEET.

FACTORY BUILT FIREPLACE & CHIMNEY TO BE UL LABELED AND TESTED IN ACCORDANCE TO UL 127. INSTALL PER MFR'S SPECS. OUTSIDE COMBUSTION AIR REQ'D. (MIN 6 SQ IN.) DUCTED DIRECTLY TO FIREBOX w/ OPERABLE OUTSIDE DAMPER, TIGHTLY FITTING FLUE DAMPER, AND TIGHT FITTING GLASS OR METAL DOORS OR FLUE DRAFT INDUCTION FAN.

LIMIT SHOWER FLOW TO 1.7 GPM OR LESS. LIMIT TOILETS TO 1.6 GPM OR LESS.

ALL SKYLIGHTS TO COMPLY WITH I.R.C. R308.6

ALL SIDELITES, SLIDING GLASS DOORS AND TUB/SHOWER ENCLOSURES TO COMPLY WITH I.R.C. R308.4

VENT DRYER, OVEN/RANGE AND EXHAUST FANS TO OUTSIDE. DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMB. HORIZ. AND VERT. LENGTH OF 14'-0", INCL. TWO 90° ELBOWS. DEDUCT 2'-0" FOR EA. 90° ELBOW IN EXCESS OF TWO. ALL EXHAUST DUCTS TO INSULATED TO A MIN. OF R-4.

TUB/SHOWER SURROUND WALLS TO HAVE FIBER-CEMENT BACKER BOARD AND FINISHED WITH A SMOOTH NON-ABSORBENT SURFACE TO A MINIMUM HEIGHT OF 72" ABOVE THE FLOOR.

PROVIDE SMOKE DETECTOR IN COMPLIANCE WITH I.R.C. R314 ALL SMOKE DETECTORS w/BATTERY BACKUP. SMOKE DETECTORS WILL SOUND AN AUDIBLE ALARM IN ALL SLEEPING ROOMS.

PROVIDE CARBON MONOXIDE DETECTOR IN COMPLIANCE WITH I.R.C. R315 OUTSIDE OF EACH SEPARATE SLEEPING AREA AND IN THE IMMEDIATE VICINITY OF ALL BEDROOMS. CARBON MONOXIDE DETECTOR SHALL MEET UL LISTING 2034 AND BE INSTALLED PER MFG LISTING.

EGRESS WINDOWS AT ALL BEDROOMS SHALL CONFORM TO THE FOLLOWING CRITERIA PER I.R.C. R310: MINIMUM NET CLEAR HEIGHT SHALL BE 24". MINIMUM NET CLEAR WIDTH SHALL BE 20". MAXIMUM FINISHED SILL HEIGHT ABOVE FLOOR SHALL BE 44". WHERE THE SILL OF A WINDOW IS GREATER THAN 72" ABOVE FINISH GRADE OR SURFACE BELOW THE MINIMUM SILL HEIGHT ABOVE FINISH FLOOR SHALL BE 24" (R312.2.1).

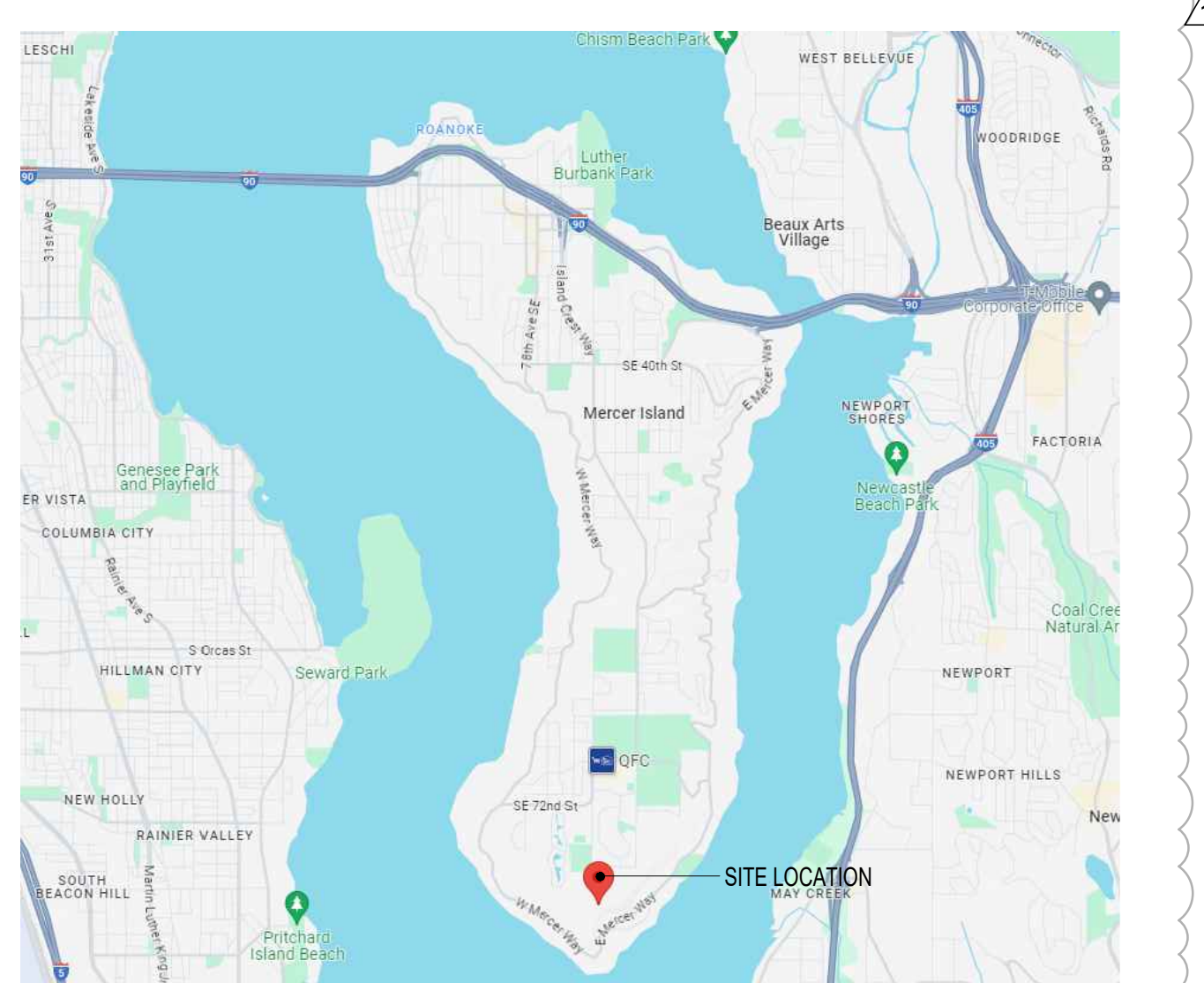
FIRE STOPS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS FROM VERTICAL TO HORIZONTAL SPACES, INCLUDING THE STAIR, TUB, SHWR, FIREPLACE, ETC. PER I.R.C. R302.11.

ASSUMED DESIGN LOADS

ALL ASSUMED DESIGN LOADS ARE PER THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE (UNLESS NOTED BY ENGINEER)

Table of assumed design loads including Uniform Snow Load (40 PSF), Seismic Zone Category (D), Weathering (Moderate), Frost Line Depth (18"), Termite Infestation Risk (Slight to Moderate), Risk of Decay (Slight to Moderate), Winter Design Temperature (22° F), Flood Hazard Index (May 12, 1974 - Amended Nov 9 1999), Air Freezing Index (170), and Mean Annual Temperature (51° F).

VICINITY MAP



PLUMBING / MECHANICAL / ELECTRICAL INSTALLATION

ALL PLUMBING, MECHANICAL AND ELECTRICAL PERMITS SHALL BE OBTAINED SEPARATELY FROM THE BUILDING PERMIT AS NECESSARY AND SHALL BE APPLIED FOR BY THE APPROPRIATELY LICENSED SUBCONTRACTOR DIRECTLY.

TUB WASTE OPENINGS IN FRAMED CONSTRUCTION TO CRAWL SPACES AT OR BELOW THE FIRST FLOOR SHALL BE PROTECTED BY THE INSTALLATION OF APPROVED METAL COLLARS OR METAL SCREEN SECURELY FASTENED TO THE ADJOINING STRUCTURE WITH NO OPENING GREATER THAN 1/2 INCH (12.7mm) IN THE LEAST DIMENSION PER UPC 313.12.4

THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATH TUB AND WHIRLPOOL BATH TUB FILLER SHALL BE LIMITED TO 120° FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION PER UPC 414.5

GAS-FIRED FURNACES INSTALLED WITHIN THE INTERIOR THERMAL ENVELOPE SHALL BE DIRECT-VENTED OR 94% EFFICIENT. UNLESS INSTALLED IN A ROOM OR SPACE THAT OPENS ONLY INTO A BEDROOM OR BATHROOM, AND SUCH ROOM OR SPACE IS USED FOR NO OTHER PURPOSE AND IS PROVIDED WITH A SOLID WEATHER-STRIPPED DOOR EQUIPPED WITH AN APPROVED SELF-CLOSING DEVICE PER IRC G2406.2. ALL COMBUSTION AIR SHALL BE TAKEN DIRECTLY FROM THE OUTDOORS IN ACCORDANCE WITH SECTION G2407.6, AND SAID ROOM OR SPACE SHALL BE INSULATED PER WSEC.

ENERGY CODE REQUIREMENTS

SHALL COMPLY WITH THE CURRENT EDITION OF THE WSEC PRESCRIPTIVE REQUIREMENTS

LARGE DWELLING UNIT: GREATER THAN 5,000 S.F. 7 CREDITS

SYSTEM TYPE = OPTION 2 (HEAT PUMP) 1.0 CREDITS

EFFICIENT BUILDING ENVELOPE = OPTION 1.3 0.5 CREDITS

AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION = OPTION 2.3 1.5 CREDITS

HIGH EFFICIENCY HVAC EQUIPMENT = OPTION 3.5 1.5 CREDITS

HIGH EFFICIENCY HVAC DISTRIBUTION = OPTION 4.2 1.0 CREDITS

EFFICIENT WATER HEATING = OPTION 5.4 1.5 CREDITS

TOTAL PROVIDED 7 CREDITS

SEE SUBMITTED ENERGY FORMS FOR MORE DETAILS

A RESIDENTIAL ENERGY CERTIFICATE COMPLYING WITH (WSEC 401.3) IS REQUIRED TO BE COMPLETED BY THE DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3 FEET OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.

AIR LEAKAGE TESTING (WSEC 402.4.1.2) SHALL BE PERFORMED IN THE PRESENCE OF THE BUILDING OFFICIAL OR THEIR DULY APPOINTED REPRESENTATIVE. THE RESULTS SHALL BE RECORDED ON THE ENERGY COMPLIANCE CERTIFICATE.

AIR LEAKAGE SHALL BE REDUCED TO A MAXIMUM OF 5 AIR CHANGES PER HOUR (PER R402.1.2 OF 218 WSEC), AND THE WHOLE HOUSE VENTILATION REQUIREMENTS SHALL BE MET WITH A HEAT RECOVERY VENTILATION SYSTEM WITH MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.70.

ALL DUCTS AND AIR HANDLERS AND FILTER BOXES SHALL IN ACCORDANCE WITH (WSEC 403.2.1 THROUGH 403.2.3). JOINTS AND SEAMS SHALL COMPLY WITH THE CURRENT I.R.C. AND I.M.C. A DUCT LEAKAGE TEST SHALL BE PERFORMED BY A QUALIFIED TECHNICIAN AND A DUCT LEAKAGE AFFIDAVIT SHALL BE POSTED NEXT TO THE ELECTRICAL PANEL.

AT LEAST 90% OF ALL INTERIOR LUMINARIES AND ALL EXTERIOR LUMINARIES SHALL BE HIGH EFFICACY (WSEC 404.1). HIGH EFFICACY LUMINARIES ARE DEFINED AS, A LIGHTING FIXTURE THAT DOES NOT CONTAIN A MEDIUM SCREW BASE SOCKET (E24/E26) AND WHOSE LAMPS OR OTHER LIGHT SOURCE HAVE A MINIMUM EFFICIENCY OF 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS, 50 LUMENS PER WATT FOR LAMPS OVER 15 WATTS AND UP TO 40 WATTS, 40 LUMENS PER WATT FOR LAMPS OF 15 WATTS OR LESS.

LUMINAIRES PROVIDING OUTDOOR LIGHTING (WSEC 505.2) AND PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES UNLESS CONTROLLED BY A MOTION SENSOR WITH INTREGAL PHOTOCNTROL PHOTOSENSOR.

HOT WATER TANK WILL HAVE A MINIMUM E.F. OF 0.91 IN ACCORDANCE TO WSEC TABLE 406.2 ENERGY CREDIT OPTION 5b AND SHALL BE LABELED PER ASHRAE STD. NO. 90A-80.

EACH DWELLING UNIT IS REQUIRED TO HAVE AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE.

VENTILATION / AIR QUALITY REQUIREMENTS: SOURCE SPECIFIC VENTILATION REQUIREMENTS

- BATHROOMS AND POWDER ROOM FANS TO BE 50 CFM. KITCHEN EXHAUST FANS TO BE 100 CFM. -EXHAUST FANS SHALL BE FLOW RATED AT .25 W.G. STATIC PRESSURE

- EXHAUST DUCTS SHALL: -BE INSULATED TO R-4 IN UNCONDITIONED SPACE -BE EQUIPPED WITH A BACKDRAFT DAMPER -TERMINATE OUTSIDE THE BUILDING -COMPLY WITH M1505.4.4(2) PER 2018 IRC

Table with columns: FAN CFM, MAX FLEX DIA., MAX FT., MAX SMOOTH DIA., MAX FT. (Values: 50, 4", 25', 4", 70'; 50, 5", 90', 5", 100'; 50, 6", +100', 6", +100'; 80, 4", not allowed, 4", 20'; 80, 5", 15', 5", 100'; 80, 6", 90', 6", +100'; 100, 5", not allowed, 5", 50'; 100, 6", 15', 6", +100'; 125, 6", 15', 6", +100'; 125, 7", 70', 7", +100')

WHOLE HOUSE VENTILATION REQUIREMENTS:

- AN INTERMITTENT WHOLE HOUSE EXHAUST FAN SHALL BE LOCATED IN THE CEILING AND SHALL BE SIZED TO PROVIDE THE MINIMUM VENTILATION RATE SPECIFIED IN TABLE M1507.3.3 (1)

- EXHAUST FANS MUST BE FLOW RATED AT .25 W.G. AND MAX. 1.0 SONE RATING.

- AIR LEAKAGE SHALL BE REDUCED TO A MAXIMUM OF 2 AIR CHANGES PER HOUR, AND THE WHOLE HOUSE VENTILATION REQUIREMENTS SHALL BE MET WITH A HEAT RECOVERY VENTILATION SYSTEM WITH MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.70. IN ACCORDANCE WITH WSEC TABLE 406.2 ENERGY CREDIT OPTION 2b.

- A READILY ACCESSIBLE 24 HOUR CLOCK TIMER SHALL BE INSTALLED AND WIRED TO REGULATE THE WHOLE HOUSE EXHAUST FAN. THE TIMER SHALL BE SET TO CYCLE THE FAN AT LEAST 180 MIN. EVERY 4 HOURS AND THE CYCLE "RUN TIME" SHALL PROVIDE ENOUGH VENTILATION DURING THAT PERIOD TO EQUAL THE CONTINUOUS VENTILATION RATE PER TABLE M1507.3.3 (1).

- INTERIOR DOORS SHALL BE INSTALLED SO AS NOT TO IMPEDE THE MOVEMENT OF FRESH AIR TO ALL HABITABLE ROOMS (1/2" UNDERCUT U.N.O.).

- AN AIR TRANSFER GRILLE SHALL BE PROVIDED ABOVE OR WITHIN UTILITY ROOM DOOR TO PROVIDE SUFFICIENT MAKE-UP AIR FOR EXHAUST AS REQUIRED

- OUTDOOR AIR INLETS SHALL BE LOCATED IN EACH HABITABLE ROOM AND PROVIDE AT LEAST 4 SQUARE INCHES OF FREE AREA OPENING. INLETS SHALL BE SCREENED AND SHALL NOT DRAW AIR FROM PROHIBITED LOCATIONS LISTED UNDER IRC M1602.2.

WHOLE HOUSE VENTILATION CALCULATIONS:

HEATED SQUARE FOOTAGE = 6,365
NUMBER OF BEDROOMS = 5
MIN. VENTILATION RATE PER TABLE M1505.4.3 (1) = 120
CALCULATION PER M1505.4.3 (2) = 120 X 1.3 = 156
PROVIDE A WHOLE-HOUSE FAN WITH THE MINIMUM CAPACITY OF 156 CFM THAT OPERATES FOR 160 MINUTES EVERY 4 HOUR CYCLE.

MOISTURE CONTROL

WALLS SEPARATING CONDITIONED SPACES FROM UNCONDITIONED SPACES SHALL HAVE A VAPOR RETARDER INSTALLED ON THE WARM SIDE OF THE WALL USING FACE INSULATION OR FRICTION FIT WITH 6MIL POLYETHYLENE OR CLASS III VAPOR RETARDER PVA. (I.R.C. R702.7.1)

SEAL, CAULK, GASKET, FLASH OR WEATHER STRIP: AROUND WINDOW AND DOOR FRAMES (PER MFG INSTALLATION SPECIFICATIONS), AT EXTERIOR JOINTS, OPNG'S BTWN WALL AND ROOF AND WALL PANELS, OPNG'S AT UTILITY PENETRATIONS THROUGH WALLS, FLOORS, AND ROOFS, ALL OTHER OPNG'S IN BLD'G ENVELOPE.

CATHEDRAL CEILING (NO ATTIC) - VAPOR RETARDER SHALL HAVE A DRY CUP PERM RATE OF 1.0 OR LESS

ALL EXTERIOR DOORS OR ACCESS HATCHES TO ENCLOSED UNHEATED AREAS MUST BE WEATHER STRIPPED.

NOTE: INSTALLATION OF A NFPA 13R FIRE SPRINKLER SYSTEM IS REQUIRED. WATERFLOW MUST BE MONITORED BY A CENTRAL STATION OR ALARM COMPANY.

DRAWING INDEX

Table of drawing index including General (A0.1 Project Information, A1.1 Site Plan), Civil (1 of 3 Utility Plan, 2 of 3 TSEC Plan, 3 of 3 Details), Architectural (A2.1 Basement Floor Plan, A2.2 Main Floor Plan, A2.3 Upper Floor Plan, A2.4 Architectural Roof Plan, A3.1 Exterior Elevations, A3.2 Exterior Elevations, A4.1 Building Sections, A4.1.1 Star Details, A7.1 Water Intrusion Details, A7.2 Door & Window Details), and Structural (S-0 Cover Sheet, S-1 General Structural Notes, S-2 Foundation Plan, S-3 Basement Wall Framing and Shear Wall Plan, S-4 First Floor Framing Plan, S-5 First Floor Wall Framing and Shear Wall Plan, S-6 Second Floor Framing Plan, S-7 Second Floor Wall Framing and Shear Wall Plan, S-8 Roof Framing Plan, S-8.1 Structural Details, S-2 Structural Details, S-3 Structural Details).

PROJECT DIRECTORY

Table of project directory listing owner (Andy & Traci Granbois), architect (Jeunesse Architects), structural (Langitude 120 Structural Engineers), civil (Core Design Inc.), and arborist (Laughing Trees Landscape).

7811 GREENWOOD AVE N #4119 SEATTLE, WA 98103 P: 206-457-7966 | www.jeunessearchitects.com

JEUNESSE ARCHITECTS

The Granbois Residence

8440 SE 82ND STREET MERCER ISLAND, WA 98040 JA PROJECT NUMBER: 202314

11224 REGISTERED ARCHITECT HEATHER POGUE STATE OF WASHINGTON

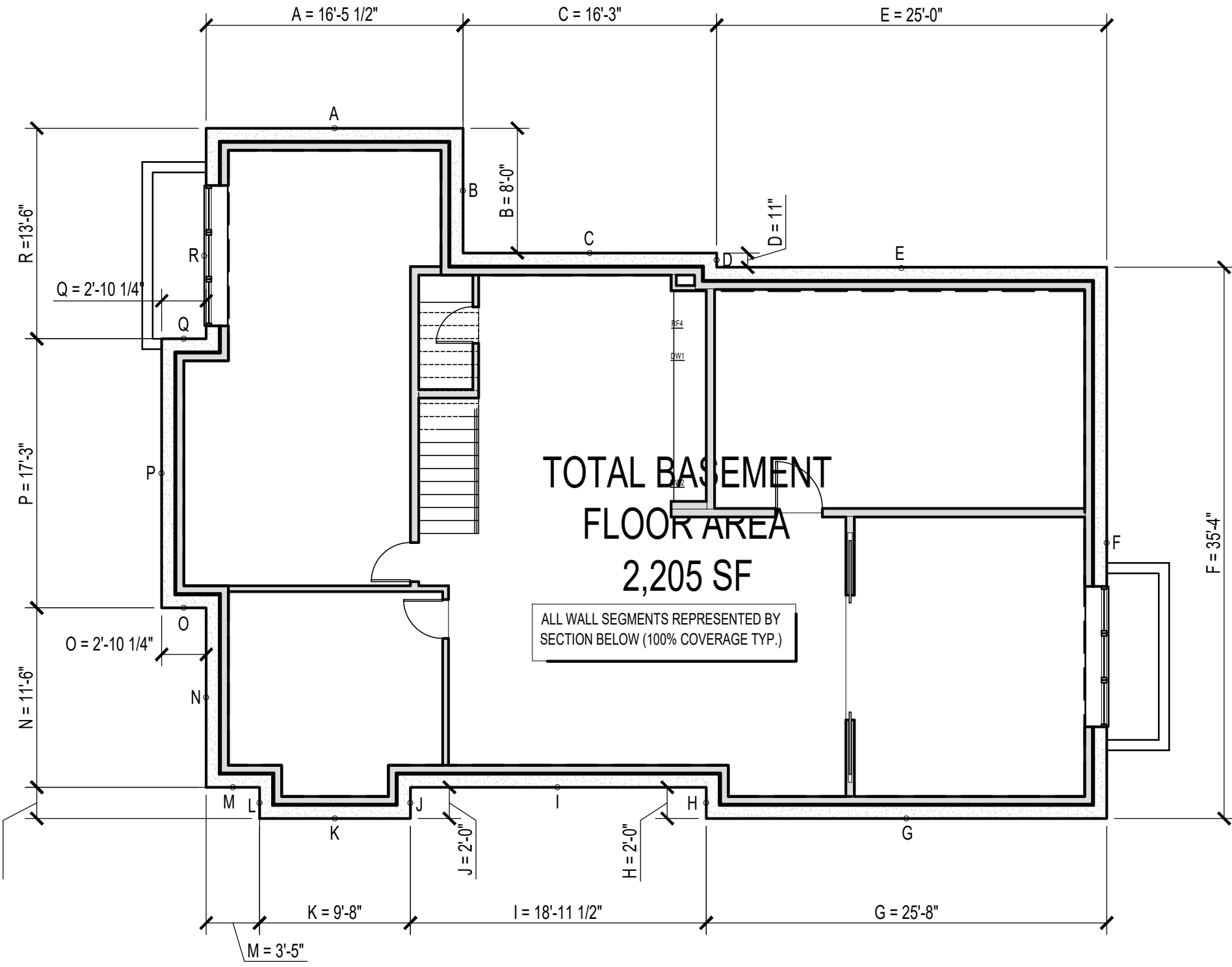
REVISION . . . . . DATE . . . . .
PERMIT REVISION: 04/29/24

PERMIT SET 04/07/2023

PROJECT INFORMATION

A0.1



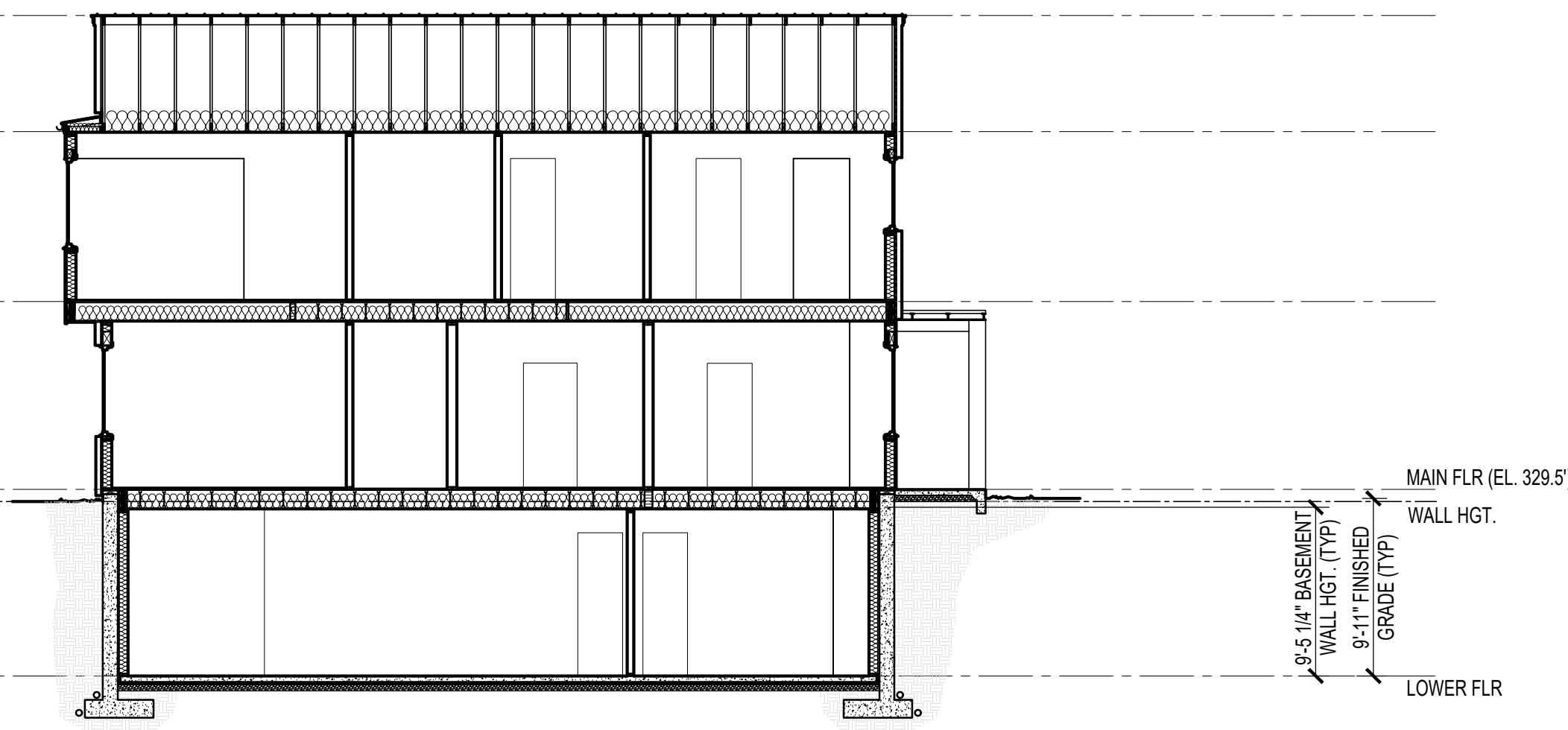


**BASEMENT FLOOR AREA CALCULATION:**

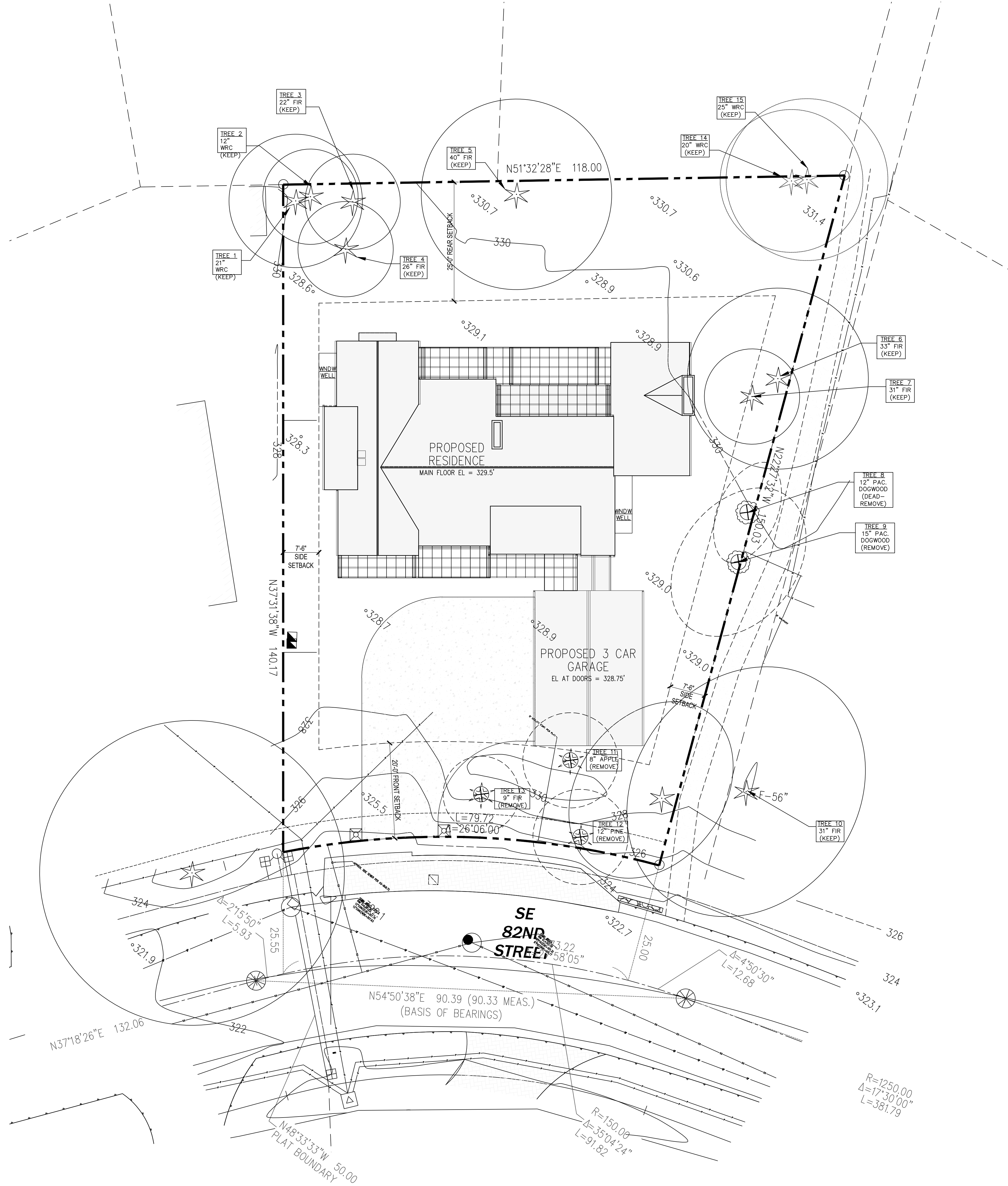
WALL SEGMENT	LENGTH	COVERAGE
A	16.46'	100%
B	8'	100%
C	16.25'	100%
D	0.92'	100%
E	25'	100%
F	35.33'	100%
G	25.67'	100%
H	2'	100%
I	19'	100%
J	2'	100%
K	9.67'	100%
L	2'	100%
M	3.42'	100%
N	11.5'	100%
O	2.83'	100%
P	17.25'	100%
Q	2.83'	100%
R	13.5'	100%
TOTALS	213.63'	100%

PORTION OF EXCLUDED BASEMENT FLOOR AREAS =  
TOTAL BASEMENT AREA X SUM (WALL SEGMENT COVERAGE X WALL SEGMENT LENGTH)  
2,205 X 100% = 2,205' EXCLUDED FROM THE GROSS FLOOR AREA

**2 BASEMENT FLOOR AREA CALCULATION**  
SCALE: 1/8" = 1'-0"



**3 BASEMENT WALL SEGMENT TYPICAL SECTION**  
SCALE: 1/8" = 1'-0"



**1 SITE PLAN**  
SCALE: 1" = 10'-0"

**SITE PLAN LEGEND**

— X —	CENTERLINE OF ROW
— SS —	FENCE
— P —	SIDE SEWER
— U —	GAS LINE
— W —	UTILITY LINE
—	WATER LINE
---	PROPERTY LINE
- - -	SETBACK LINE
(*)	EXISTING TREE
■	STRUCTURE
□	STRUCTURE ON ADJ. PROPERTY

**LEGAL DESCRIPTION**

ISLAND POINT ADD #2 AND UND INT IN COMMUNITY TR

**ADDRESS**

8440 SE 82nd St, Mercer Island, WA, 98040

**PARCEL NUMBER**

TAX PARCEL: #362560-0120

**ZONING SUMMARY**

ZONING CODE: CITY OF MERCER ISLAND MUNICIPAL CODE  
TITLE 19 UNIFIED LAND DEVELOPMENT CODE

UNDERLYING ZONE: R-9.6 (RESIDENTIAL SINGLE-FAMILY)  
LOT AREA: 13,806 SF  
LOT COVERAGE: 13,806 X 0.40 = 5,522 SF MAX. COVERAGE ALLOWED

MAIN STRUCTURE ROOF AREA: 3,490 SF  
VEHICULAR USE (DRIVEWAY, PAVED ACCESS, UNCOVERED WALKS): 1,425 SF  
COVERED DECKS & PATIOS: 554 SF  
TOTAL PROJECT IMPERVIOUS AREA: 5,469 SF  
PROPOSED LOT COVERAGE: 39.6 %

GROSS FLOOR AREA:  
MAX ALLOWED GFAR: 40%  
13,806 X 0.40 = 5,522 SF MAX. COVERAGE ALLOWED

BASEMENT: N/A  
MAIN FLOOR: 2,205 SF  
UPPER FLOOR (NET): 2,510 SF  
GARAGE: 690 SF  
PROPOSED GFAR: 5,469 SF  
39.55 %

\*BASEMENT AREA EXCLUDED FROM GFAR PER MICC 19 APPENDIX B (REF. DIAGRAMS)

HEIGHT LIMIT: 30'  
YARDS: FRONT: 20'  
REAR: 25'  
SIDE: TOTAL SUM: 15', MIN. WIDTH: 5'

HARDSCAPE:  
MAX ALLOWABLE = 9% 1,242.5 S.F.  
NEW HARDSCAPE (WALKWAYS, WINDOW WELLS AND UNCOVERED PATIOS) = 4.1% 560 S.F.

**AVERAGE BUILDING ELEVATION**

MIDPOINT ELEV	WALL SEGMENT LENGTH	MIDPOINT x LENGTH (Ave)
A 329.0	a 16.46'	5,415.34
B 329.0	b 8'	2,632
C 329.0	c 16.25'	5,346.25
D 329.0	d 0.92'	302.68
E 329.0	e 25'	8,225
F 329.0	f 35.33'	11,623.57
G 328.5	g 25.67'	8,432.60
H 328.5	h 2'	657
I 328.5	i 19'	6,241.5
J 329.0	j 2'	658
K 329.0	k 9.67'	3,181.43
L 329.0	l 2'	658
M 329.0	m 3.42'	1,125.18
N 328.5	n 11.5'	3,777.75
O 328.5	o 2.83'	929.66
P 328.5	p 17.25'	5,666.63
Q 329.0	q 2.83'	931.07
R 329.0	r 13.5'	4,441.5
		213.63'

TOTAL MIDPOINT x LENGTH = 70,245.16  
TOTAL WALL LENGTH = 213.63'  
70,245.16 / 213.63 = 328.82'  
AVERAGE BUILDING ELEVATION = 328.82'  
MAX BUILDING HEIGHT = 328.82' + 30' = 358.82'  
HOME BUILDING HEIGHT = 356.10' (REF. ELEVATION SHEETS)

**TREE & LANDSCAPING NOTES**

- SEE ARBORIST REPORT FOR TREE RETENTION CALCULATIONS, TREE TYPE & SIZE.
- DEVELOPMENT PROPOSALS FOR A NEW SINGLE-FAMILY HOME SHALL REMOVE JAPANESE KNOTWEED (POLYGONUM CUSPIDATUM) AND REGULATED CLASS A AND REGULATED CLASS B AND REGULATED CLASS C WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED, FROM REQUIRED LANDSCAPING AREAS ESTABLISHED PURSUANT TO SUBSECTION 19.02.020(F)(3)(A). NEW LANDSCAPING ASSOCIATED WITH NEW SINGLE-FAMILY HOME SHALL NOT INCORPORATE ANY WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED, PROVIDED, THAT REMOVAL SHALL NOT BE REQUIRED IF THE REMOVAL WILL RESULT IN INCREASED SLOPE INSTABILITY OR RISK OF LANDSLIDE OR EROSION.

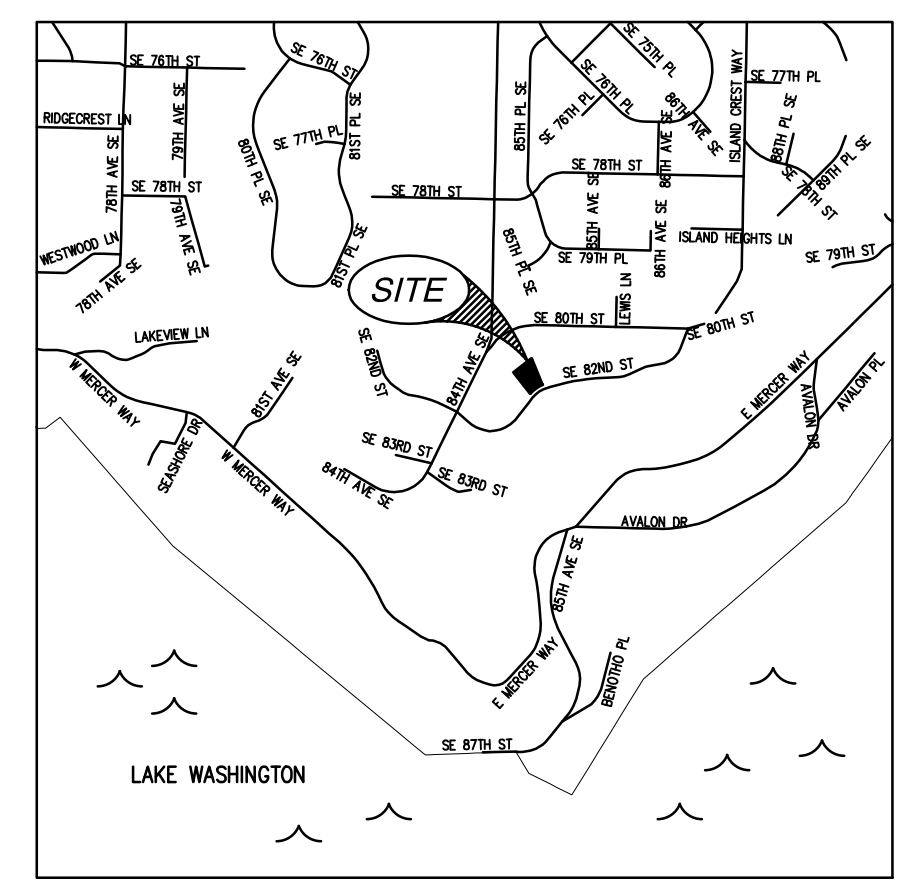
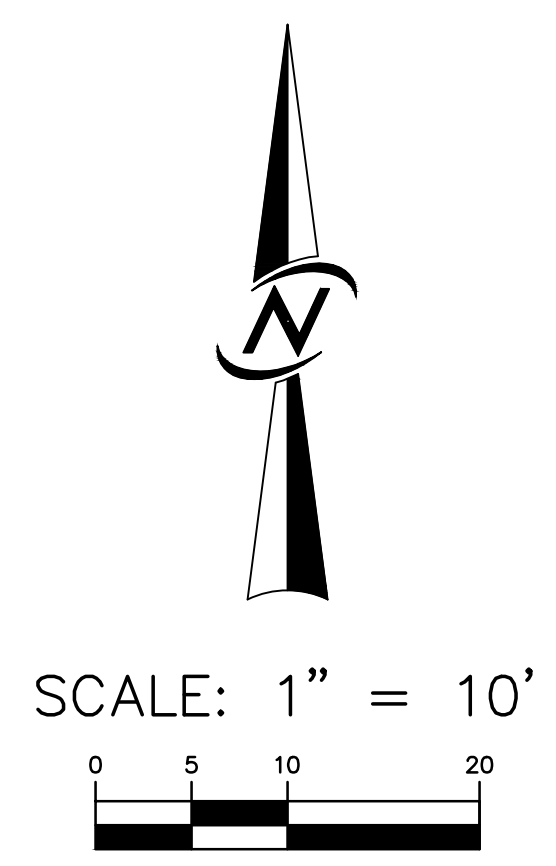
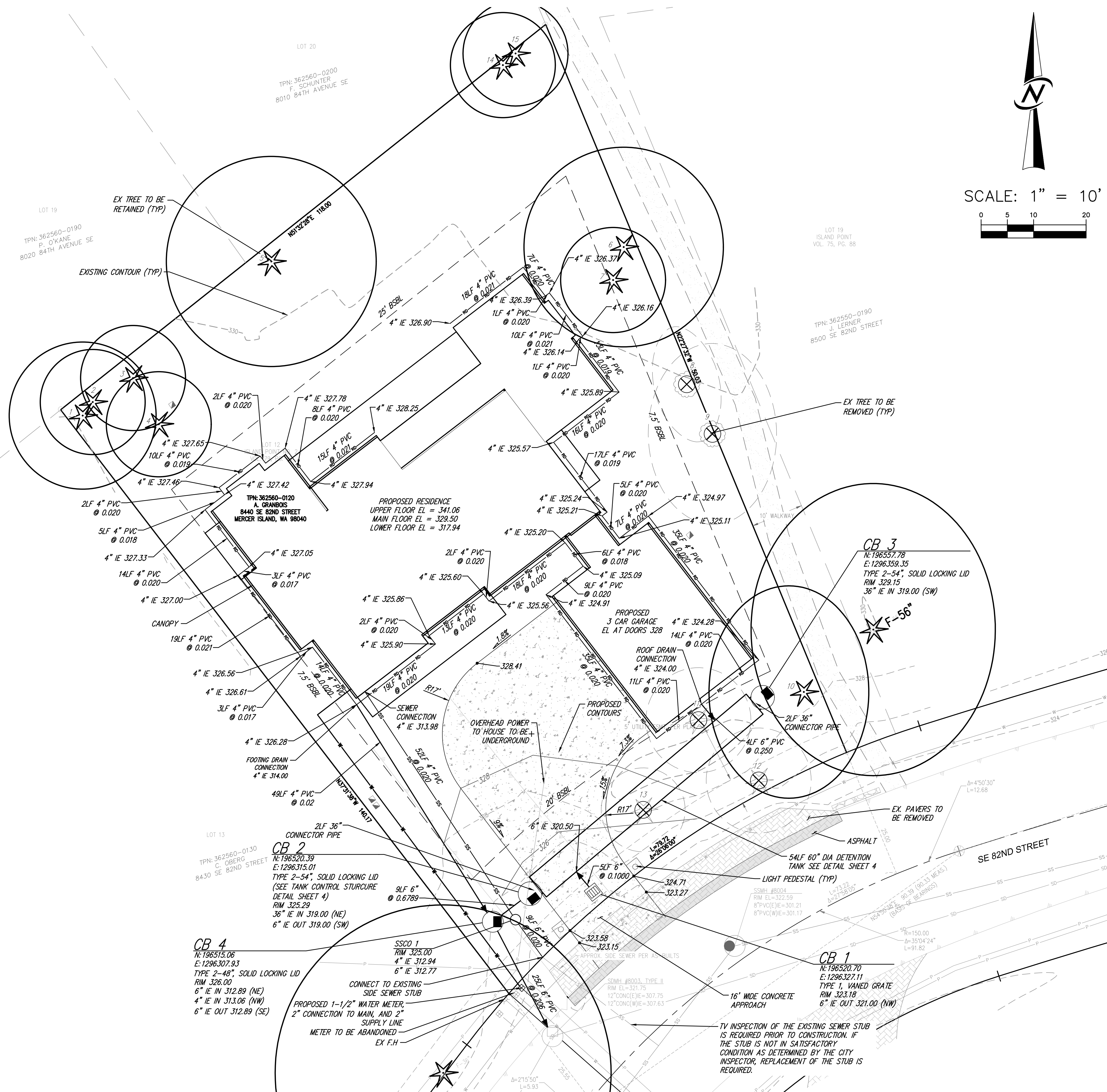


**SITE PLAN NOTES**

- ALL ROOF OVERHANGS UNDER 36" EXEMPT FROM LOT CALCS.
- ALL WORK IN THE RIGHT OF WAY WILL BE PERMITTED SEPARATELY WITH SDOT.
- NO DAMAGE OR REMOVAL OF EXISTING TREES WILL OCCUR. THIS INCLUDES STOCKPILING MATERIALS, STAGING, OR ANY OTHER ACTIVITY THAT MAY OCCUR ON SITE.
- STRUCTURES ON SITE PLAN ARE SHOWN IN OUTLINE ONLY FOR CLARITY AND LOT COVERAGE. REFERENCE FLOOR PLANS FOR INTERIOR SCOPE OF WORK.
- PROVIDE DRAINAGE SWALE @ HOUSE PERIMETER FOR SITE DRAINAGE AWAY FROM RESIDENCE AND AWAY FROM ADJACENT PROPERTIES.
- PRIOR TO STAKING FOUNDATION, A LICENSED SURVEYOR MUST VERIFY THAT THE DIMENSIONS SHOWN ON ARCHITECTS' DESIGNERS FOUNDATION PLAN PROPERLY CLOSE. ANY DISCREPANCY SHALL BE IMMEDIATELY REPORTED TO DESIGNER PRIOR TO PRECEDING WITH THE WORK.

JEUNESSE ARCHITECTS  
 11224 REGISTERED ARCHITECT  
 HEATHER POGUE  
 STATE OF WASHINGTON  
 PERMIT REVISION: 04/29/24  
 DATE: 04/07/2023  
 PROJECT NUMBER: 202314  
 THE GRANBOLIS RESIDENCE  
 8440 SE 82ND STREET  
 MERCER ISLAND, WA 98040





**OWNER**  
ANDREW AND TRACI GRANBOIS

**LEGAL DESCRIPTION**  
LOT 12, ISLAND POINT NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 79 OF PLATS, PAGE(S) 18 AND 19, RECORDS KING COUNTY, WASHINGTON.  
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

**SITE STATISTICS**

SETBACKS:	
ZONE:	R-9.6
FRONT:	20'
REAR:	25'
SIDE:	5.5'/11.2'
SITE ADDRESS:	8440 SE 82ND ST, MERCER ISLAND, WA 98040
TAX PARCEL NUMBER:	362560-0120

**LOT COVERAGE**

LOT AREA (PER SURVEY)	13,806 SF
ALLOWABLE LOT COVERAGE = 40%	5,522 SF
MAIN STRUCTURE ROOF AREA	3,601 SF
UNCOVERED PATIOS WALKS & DRIVEWAY	1,969 SF
TOTAL PROJECT IMPERVIOUS AREA	5,570 SF
PROPOSED LOT COVERAGE AREA	40.3%

**UNDERGROUND LOCATOR SERVICE**  
CALL BEFORE YOU DIG!  
1-800-424-5555

DATE	APRIL 2023 (2ND SUB)	DESIGNED	SHERI H. MURATA, P.E.
NO.	1	DRAWN	JOCelyn R. CASEMANS
REVISIONS	1	APPROVED	SHERI H. MURATA, P.E.
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CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE  
PLANNING  
SURVEYING

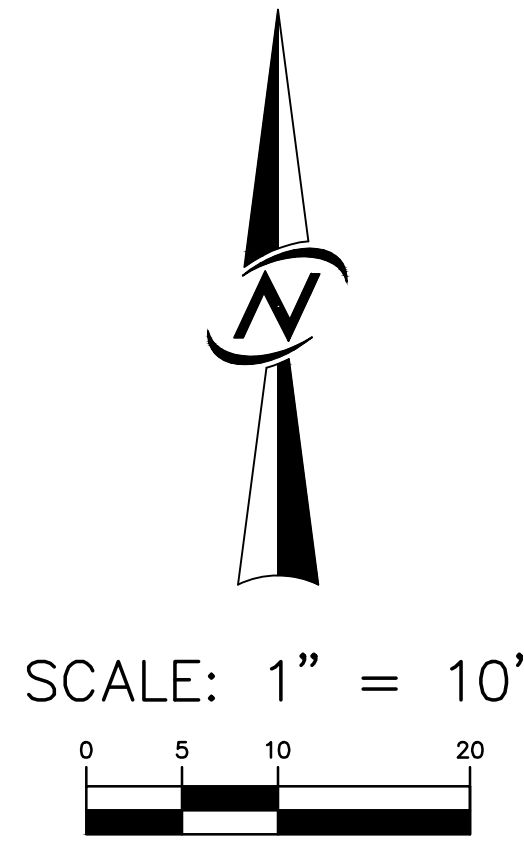
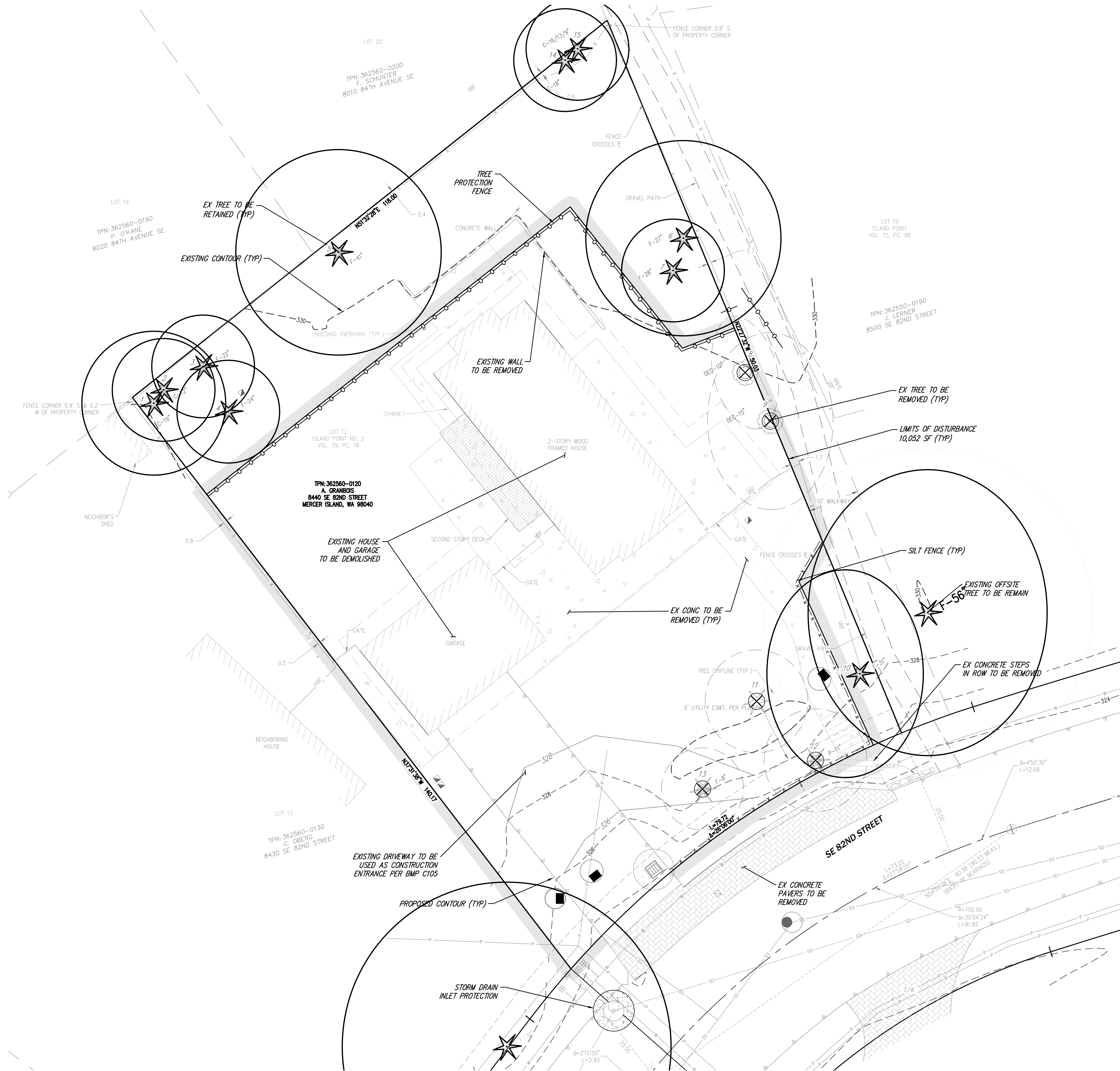
**CORE DESIGN**

12100 NE 195th St, Suite 300, Bothell, Washington 98011 425.865.7877

**UTILITY PLAN  
GRANBOIS CUSTOM  
TCHC, LLC. (BDA: BDR CUSTOM)**  
P.O. BOX 50208  
BELLEVUE, WA 98015

DATE: APRIL 2023 (2ND SUB)  
SHEET 1 OF 3  
PROJECT NUMBER 22293

4/29/2024 1:09 PM - A - 12293 (ENGINEERING FINAL) SHEETS 12293\_1P.DWG



**LEGEND**

- ⊕ FOUND SURVEY MONUMENT, AS NOTED
- FOUND SURVEY MARKER, AS NOTED
- SEWER MANHOLE
- ⊖ CATCH BASIN TYPE I
- ⊖ CATCH BASIN TYPE II
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ IRRIGATION METER
- ⊕ POWER TRANSFORMER
- ⊕ TELEPHONE PEDESTAL
- ⊕ TV PEDESTAL
- ⊕ MAILBOX KIOSK
- ⊕ EVERGREEN TREE
- DECIDUOUS TREE
- F FIR
- C CEDAR
- P PINE
- DEC DECIDUOUS
- P PROPERTY LINE
- D/W DRIVEWAY
- VBF VERTICAL BOARD FENCE
- HBF HORIZONTAL BOARD FENCE
- SS SEWER LINE
- SD STORM DRAINAGE LINE
- W WATER LINE
- U UNDERGROUND POWER LINE
- F FENCE LINE
- X EDGE OF ASPHALT
- CONCRETE
- GRAVEL
- BRICK

**UNDERGROUND LOCATOR SERVICE**  
 CALL BEFORE YOU DIG!  
 1-800-424-5555

NO.	REVISIONS	DATE
1	CITY COMMENTS, FOOTPRINT REVISION	5/30/23
2		7/10/23

**CORE DESIGN**  
 CIVIL ENGINEERING  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 SURVEYING

12100 NE 195th St, Suite 300, Bothell, Washington 98011 425.885.7877

**TESC PLAN**  
**GRANBOIS CUSTOM**  
**TCHC, LLC. (BDA: BDR CUSTOM)**  
 P.O. BOX 50208  
 BELLEVUE, WA 98015

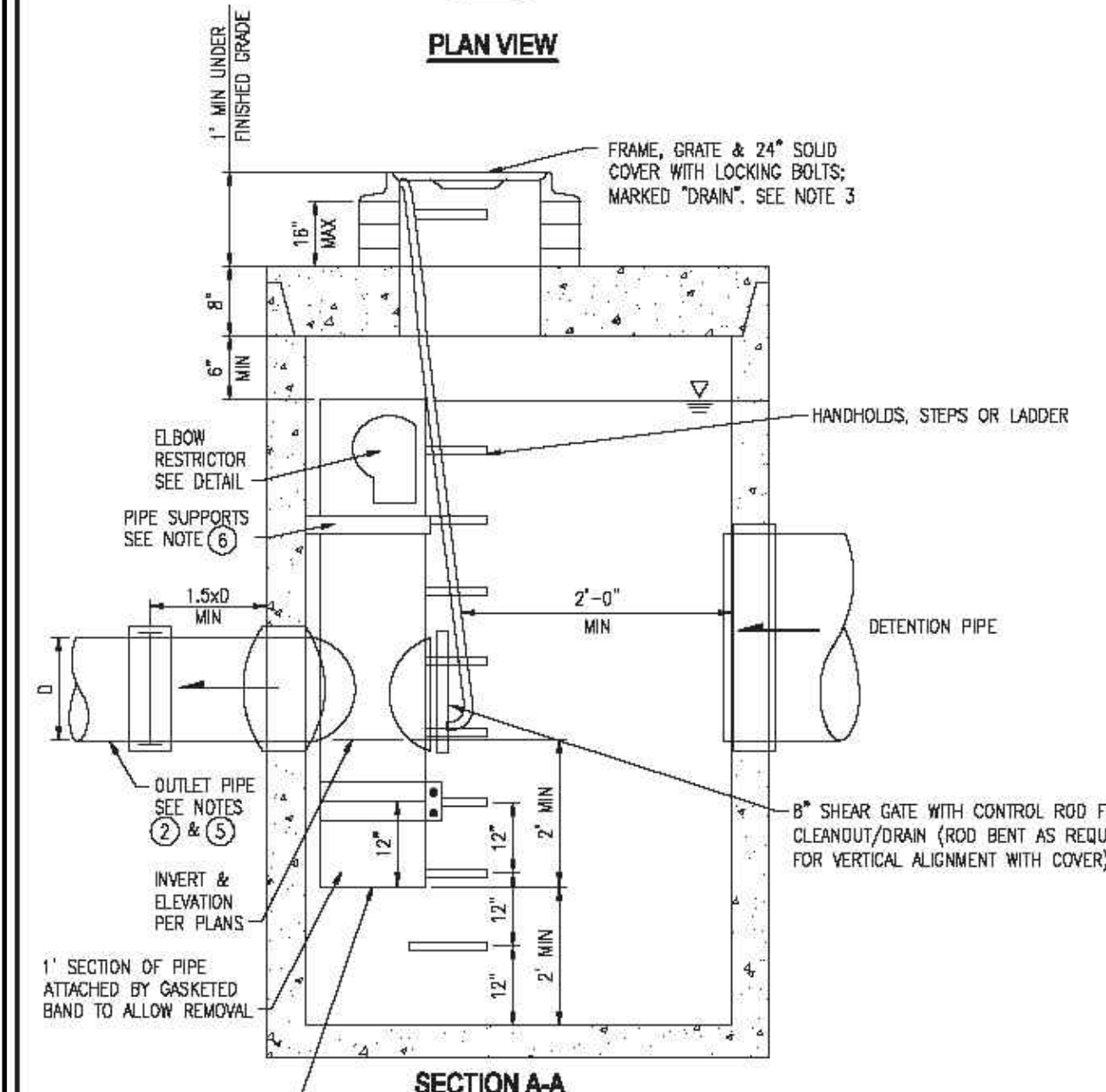
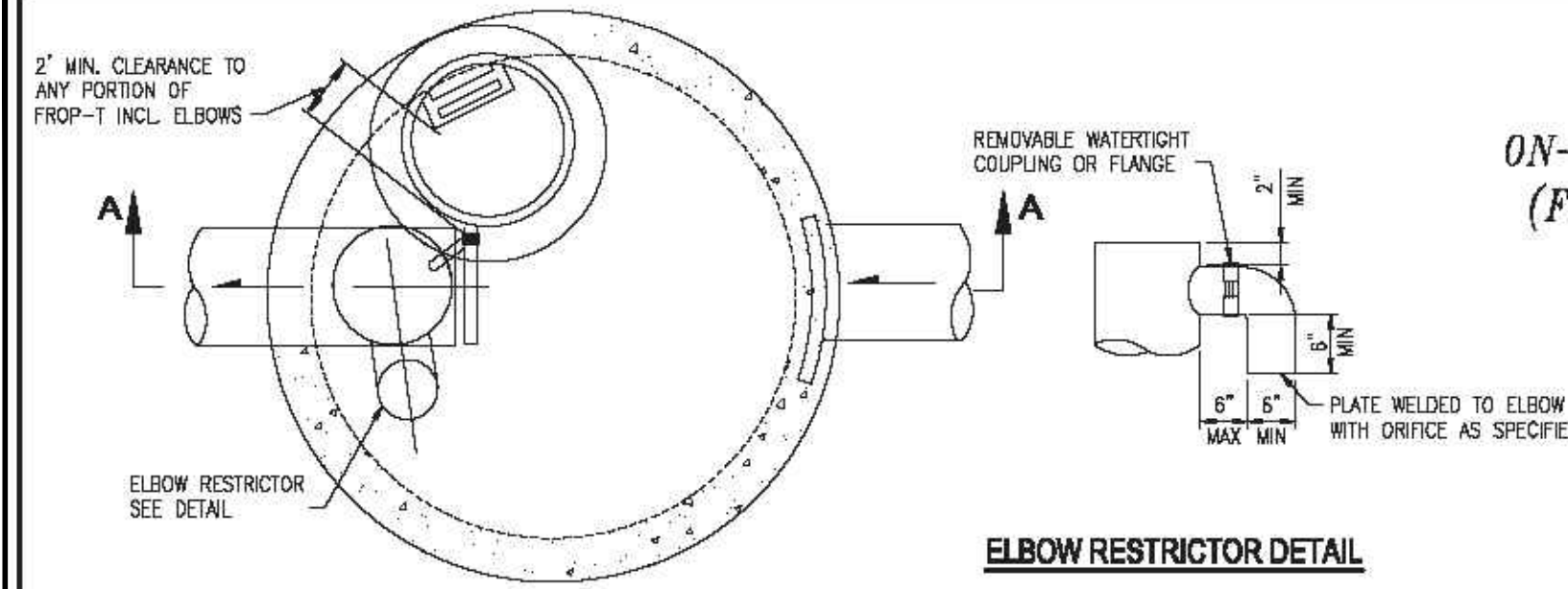
DATE	APRIL 2023 (2ND SUB)
DESIGNED	SHERI H. MURATA, P.E.
DRAWN	JOCELYN R. CASENMS
APPROVED	SHERI H. MURATA, P.E.
	SHERI H. MURATA, P.E.
	PROJECT MANAGER

SHEET	OF
2	3
PROJECT NUMBER	
22293	

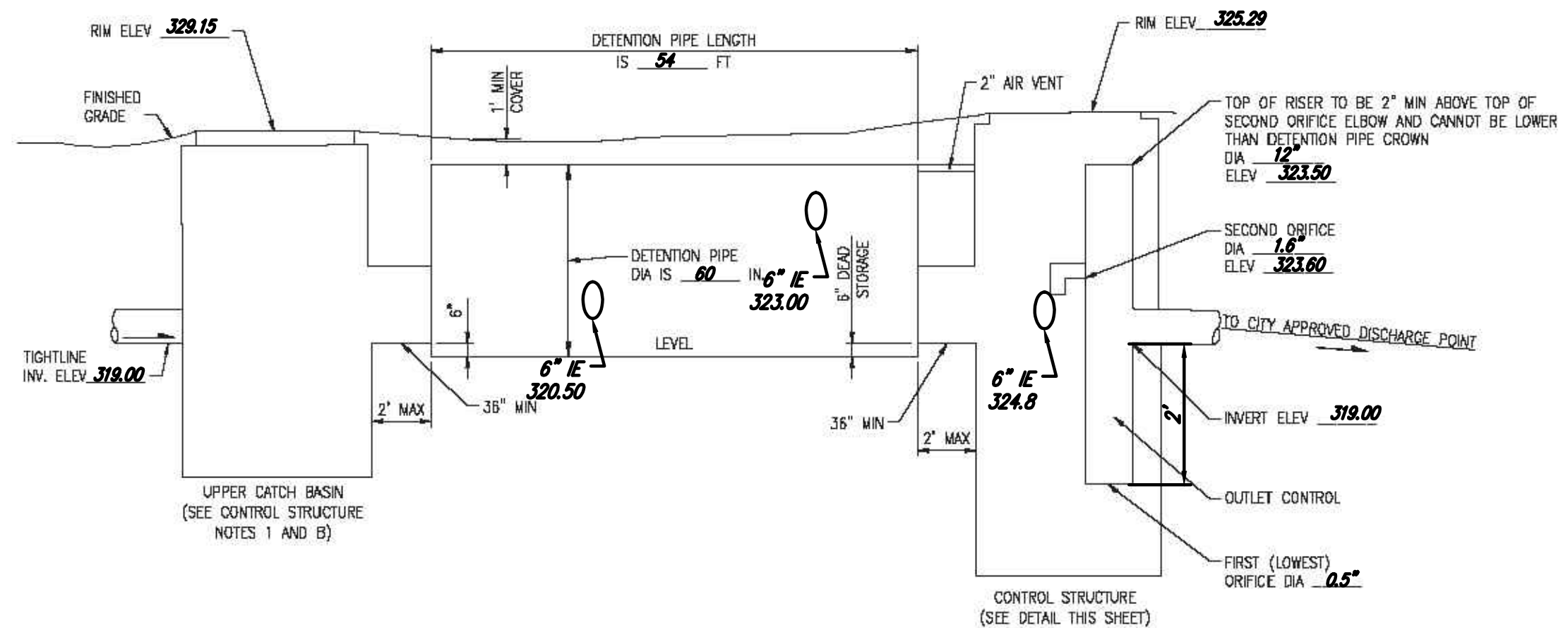
4/29/2024 1:09 PM - 4/29/2024 12:29:31 [ENGINEERING FINAL] SHEETS 12293 TESC.DWG



ATTACHMENT 1  
CITY OF MERCER ISLAND  
ON-SITE DETENTION SYSTEM WORKSHEET  
(FOR NEW PLUS REPLACED IMPERVIOUS  
AREA OF 9,500 SF OR LESS)



OWNER: **ANDREW AND TRACI GRANBOIS** ADDRESS: **8440 SE 82ND ST. MERCER ISLAND, WA 98040** PREPARED BY: **SHERI MURATA, P.E.**  
 PERMIT #: \_\_\_\_\_ PHONE: **425-885-7877** DATE: **6/5/23**  
 NEW PLUS REPLACED IMPERVIOUS SURFACE AREA (SF): **9,570 SF** DETENTION PIPE DIA (INCH): **60** DETENTION PIPE LENGTH (FT): **54** ORIFICE #1 DIA **0.5"** INCH, ELEV **317.00**  
 SOIL TYPE: **B** PIPE MATERIAL: **CMP** ORIFICE #2 DIA **1.6"** INCH, ELEV **323.60**



ON-SITE DETENTION SYSTEM  
NOT TO SCALE (ENGINEER TO FILL IN BLANKS)

- ON-SITE DETENTION SYSTEM NOTES:**
- CALL DEVELOPMENT SERVICES (206-275-7805) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
  - RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
  - PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING: LINED CORRUGATED POLYETHYLENE PIPE (LOPE), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
  - FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.

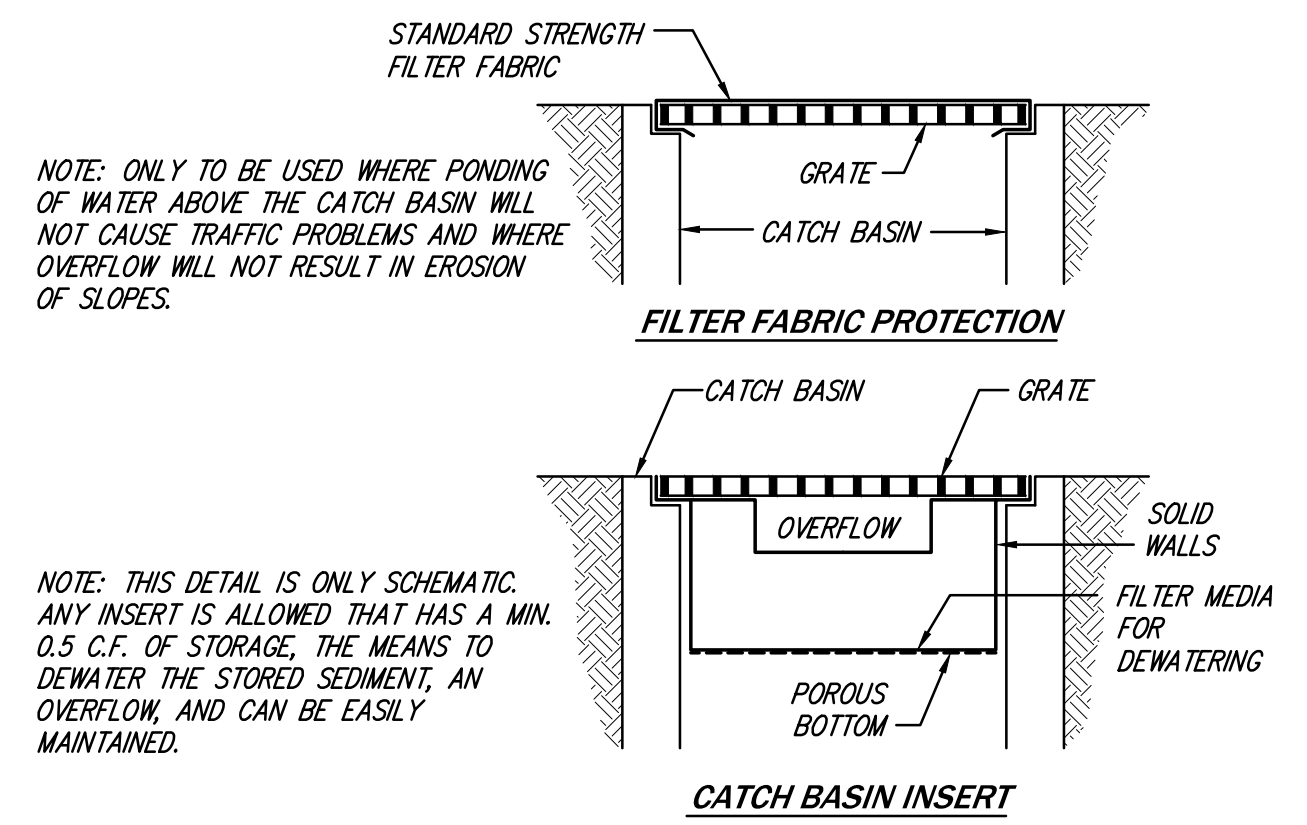
- CONTROL STRUCTURE NOTES:**
- USE A MINIMUM OF A 54 IN. DIAM. TYPE 2 CATCH BASIN. THE ACTUAL SIZE IS DEPENDENT ON CONNECTING PIPE MATERIAL AND DIAMETER.
  - OUTLET PIPE: MIN. 6 INCH.
  - METAL PARTS: CORROSION RESISTANT, NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
  - FRAME AND LADDER OR STEPS OFFSET SO:
    - CLEANOUT GATE IS VISIBLE FROM TOP;
    - CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE;
    - FRAME IS CLEAR OF CURB.
  - IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
  - PROVIDE AT LEAST ONE 3 X 0.690 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3'-0" VERTICAL SPACING).
  - THE SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 206 AND ASTM B 275, DESIGNATION Z0320K OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. THE LEFT HANDLE SHALL BE MADE OF A SIMILAR METAL TO THE GATE (TO PREVENT GALVANIC CORROSION). IT MAY BE OF SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LID AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.
  - THE UPPER CATCH BASIN IS REQUIRED IF THE LENGTH OF THE DETENTION PIPE IS GREATER THAN 50 FT.

(SEE BMP 15.13 POST CONSTRUCTION SOIL QUALITY AND DEPTH IN THE 2014 DOE MANUAL FOR THE FULL DESIGN REQUIREMENT)

**SOIL RETENTION**  
 RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

**SOIL QUALITY**  
 ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

- A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
- MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL
- USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
  - THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIORETENTION (BMP 17.30), WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 35% BIOSOLIDS OR MANURE. THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65%, AND A CARBON TO NITROGEN RATIO BELOW 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
  - CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIAL MEETING (A.) ABOVE; OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B, TESTING PARAMETERS, IN WAC 173-350-220.



- MAINTENANCE STANDARDS**
- ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC PROTECTION SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED WITH WATER, AND ALL SEDIMENT MUST BE DISPOSED OF AS FILL ON-SITE OR HAULED OFF-SITE.
  - ANY SEDIMENT IN THE CATCH BASIN INSERT SHALL BE REMOVED WHEN THE SEDIMENT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. THE FILTER MEDIA FOR THE INSERT SHALL BE CLEANED OR REPLACED AT LEAST MONTHLY.
  - REGULAR MAINTENANCE IS CRITICAL FOR BOTH FORMS OF CATCH BASIN PROTECTION. UNLIKE MANY FORMS OF PROTECTION THAT FAIL GRADUALLY, CATCH BASIN PROTECTION WILL FAIL SUDDENLY AND COMPLETELY IF NOT MAINTAINED PROPERLY.

**FILTER FABRIC PROTECTION FOR CB'S**

NO SCALE

**TREE PROTECTION AREA (TPZ)**

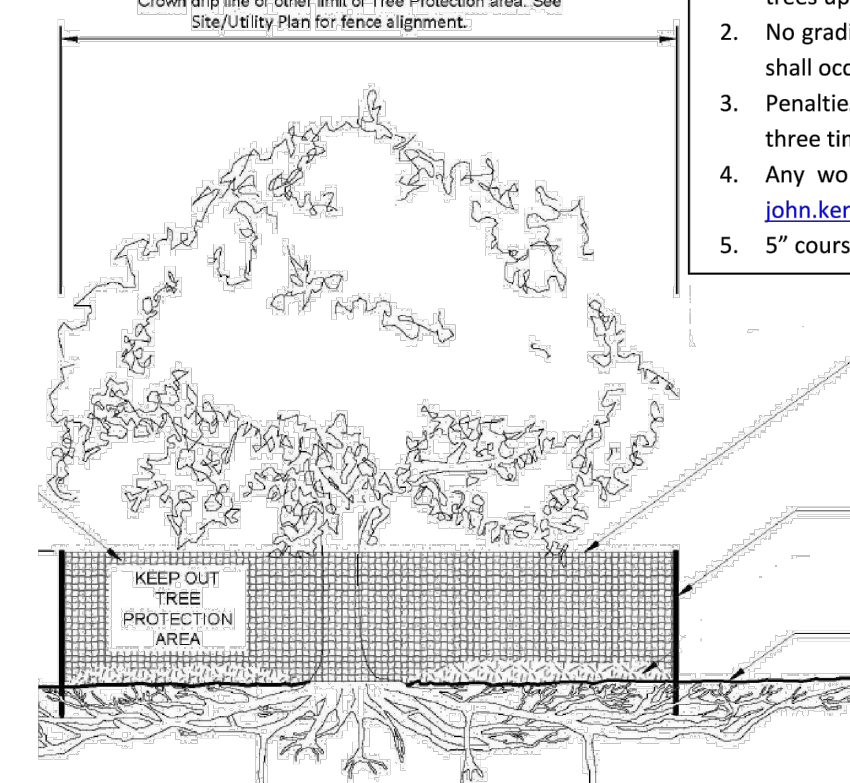
**KEEP OUT!**

**DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA**

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

- Correction Notices or Stop Work Orders until compliance is achieved
- RE Inspection Fees/financial penalties
- Arborist reports recommending mitigation

- Notes**
- No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
  - No grading, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity shall occur inside the protective fencing.
  - Penalties for damaging by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (MICC 19.10.160).
  - Any work in approved TPZ must be with the permission of the City Arborist (206) 275-7713, [john.kennedy@mercergov.org](mailto:john.kennedy@mercergov.org).
  - 5" course woodchips within the tree protection zone, but not against the tree trunk.

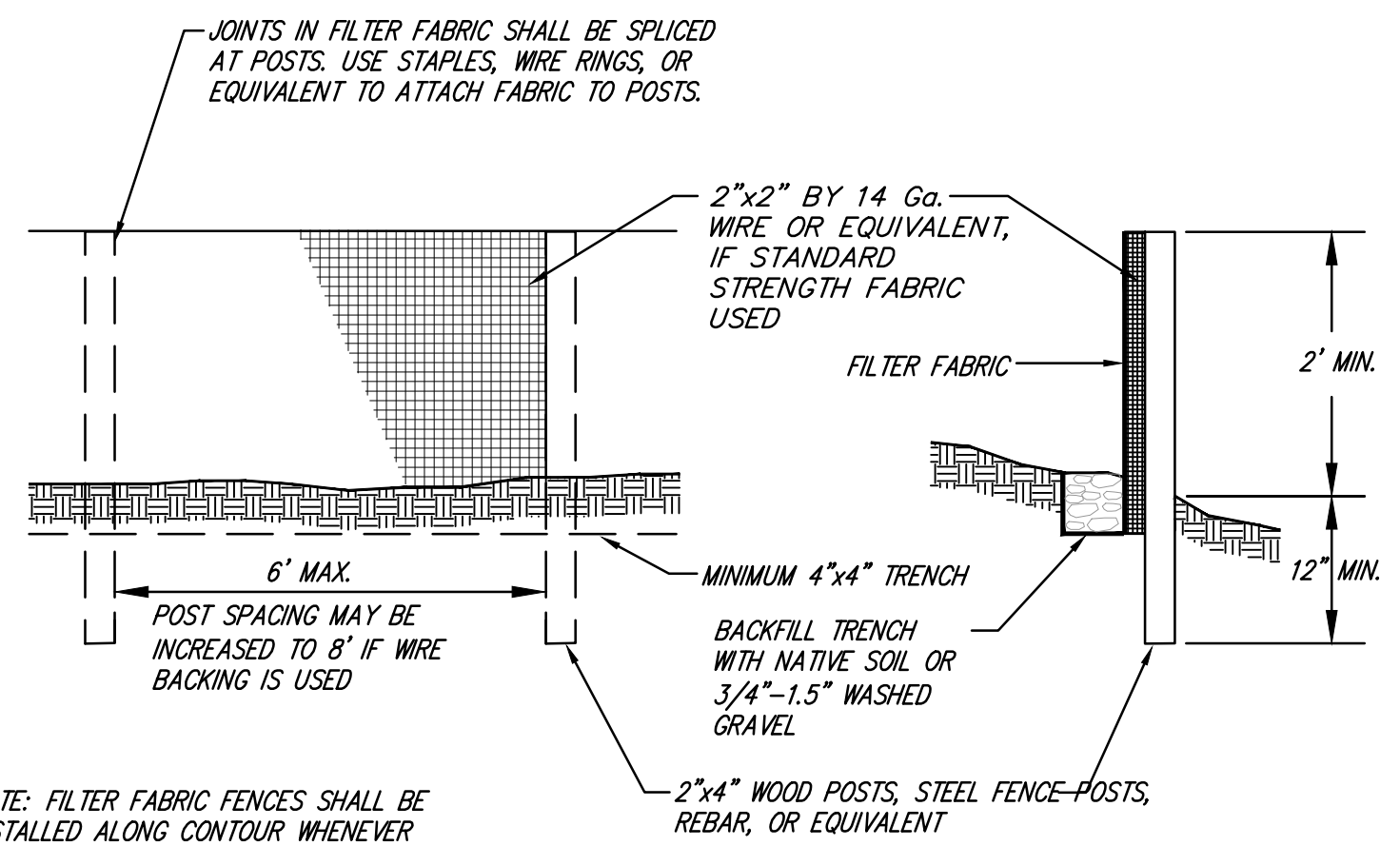


Tree protection fence: 4-6" chain link fence, solidly anchored into the ground, or if authorized High-density polyethylene fencing with 3.5" x 1.5" openings; color orange. Steel posts installed at 8' o.c.

2" x 6" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indication on the plans

Any Work in the protected area must be with the permission of the City Arborist [john.kennedy@mercergov.org](mailto:john.kennedy@mercergov.org)



NOTE: FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE

**FILTER FABRIC FENCE DETAIL**

NO SCALE

**UNDERGROUND LOCATOR SERVICE**  
 CALL BEFORE YOU DIG!  
 1-800-424-5555

DATE	APRIL 2023 (2ND SUB)	DESIGNED	SHERI H. MURATA, P.E.
DATE	5/30/23	DRAWN	JOCELYN R. CASEMANS
REVISIONS		APPROVED	SHERI H. MURATA, P.E.
NO.		PROJECT MANAGER	SHERI H. MURATA, P.E.
1	CITY COMMENTS, FOOTPRINT REVISION		
2	CITY COMMENTS, FOOTPRINT REVISION		
DATE	7/10/23		

CIVIL ENGINEERING  
 LANDSCAPE ARCHITECTURE  
 PLANNING  
 SURVEYING

**CORE DESIGN**

12100 NE 195th St, Suite 300, Bothell, WA 98015  
 425.885.7877

**DETAILS GRANBOIS CUSTOM**  
**TCHC, LLC. (BDA: BDR CUSTOM)**  
 P.O. BOX 50208  
 BELLEVUE, WA 98015

SHEET 3 OF 3  
 PROJECT NUMBER 22293

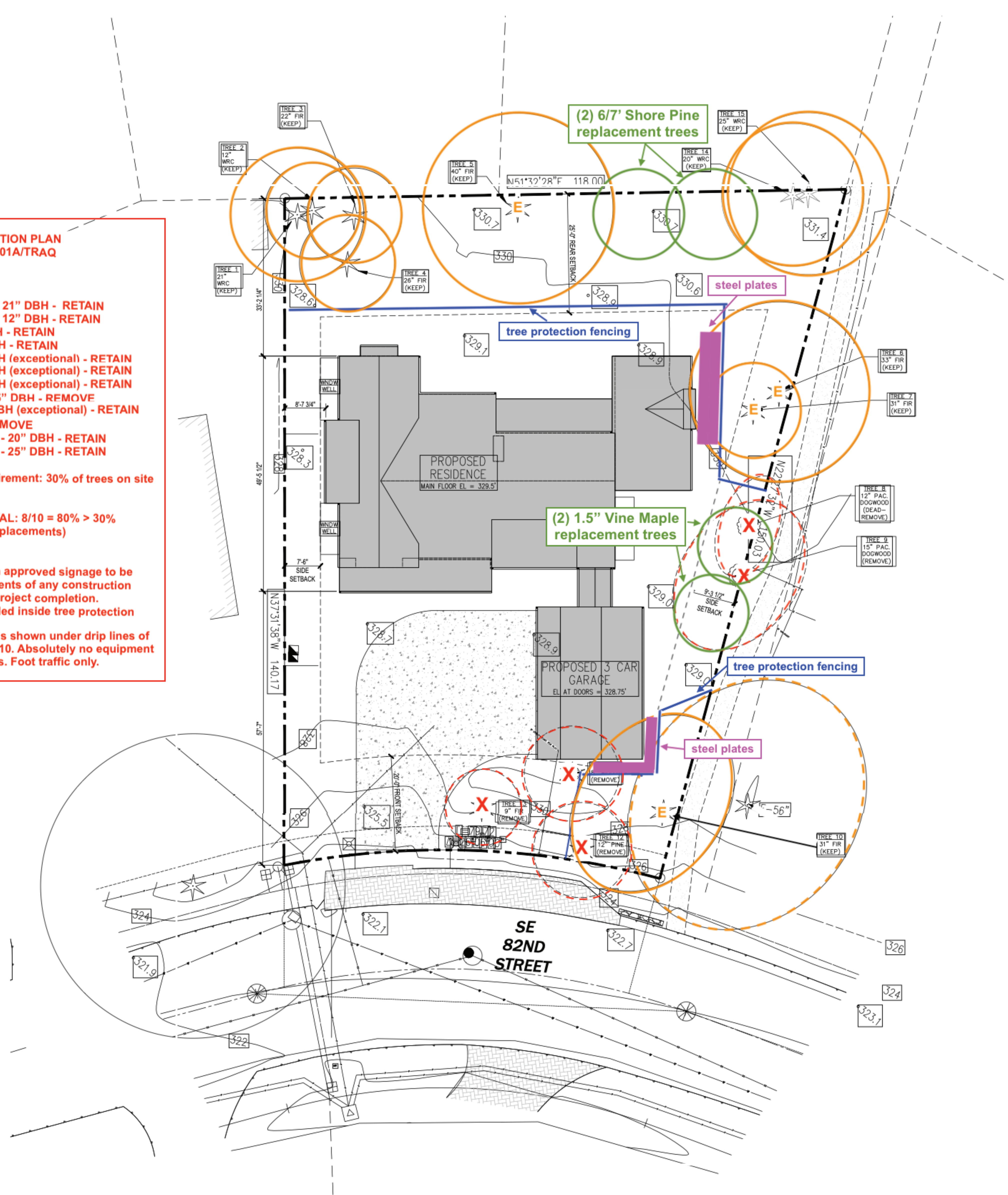


**TREE RETENTION & PROTECTION PLAN**  
 Kim Ettari - ISA Arborist PN1301A/TRAQ  
 Laughing Trees Landscapes

**TREE LEGEND:**  
 Tree #1 - Western Red Cedar - 21" DBH - RETAIN  
 Tree #2 - Western Red Cedar - 12" DBH - RETAIN  
 Tree #3 - Douglas Fir - 22" DBH - RETAIN  
 Tree #4 - Douglas Fir - 26" DBH - RETAIN  
 Tree #5 - Douglas Fir - 40" DBH (exceptional) - RETAIN  
 Tree #6 - Douglas Fir - 33" DBH (exceptional) - RETAIN  
 Tree #7 - Douglas Fir - 31" DBH (exceptional) - RETAIN  
 Tree #9 - Pacific Dogwood - 15" DBH - REMOVE  
 Tree #10 - Douglas Fir - 31" DBH (exceptional) - RETAIN  
 Tree #12 - Pine - 12" DBH - REMOVE  
 Tree #14 - Western Red Cedar - 20" DBH - RETAIN  
 Tree #15 - Western Red Cedar - 25" DBH - RETAIN

Mercer Island Retention Requirement: 30% of trees on site  
 Trees to be retained: 10  
 Trees to be removed: 2  
**TOTAL TREES AFTER REMOVAL: 8/10 = 80% > 30%**  
 (meets requirement with no replacements)

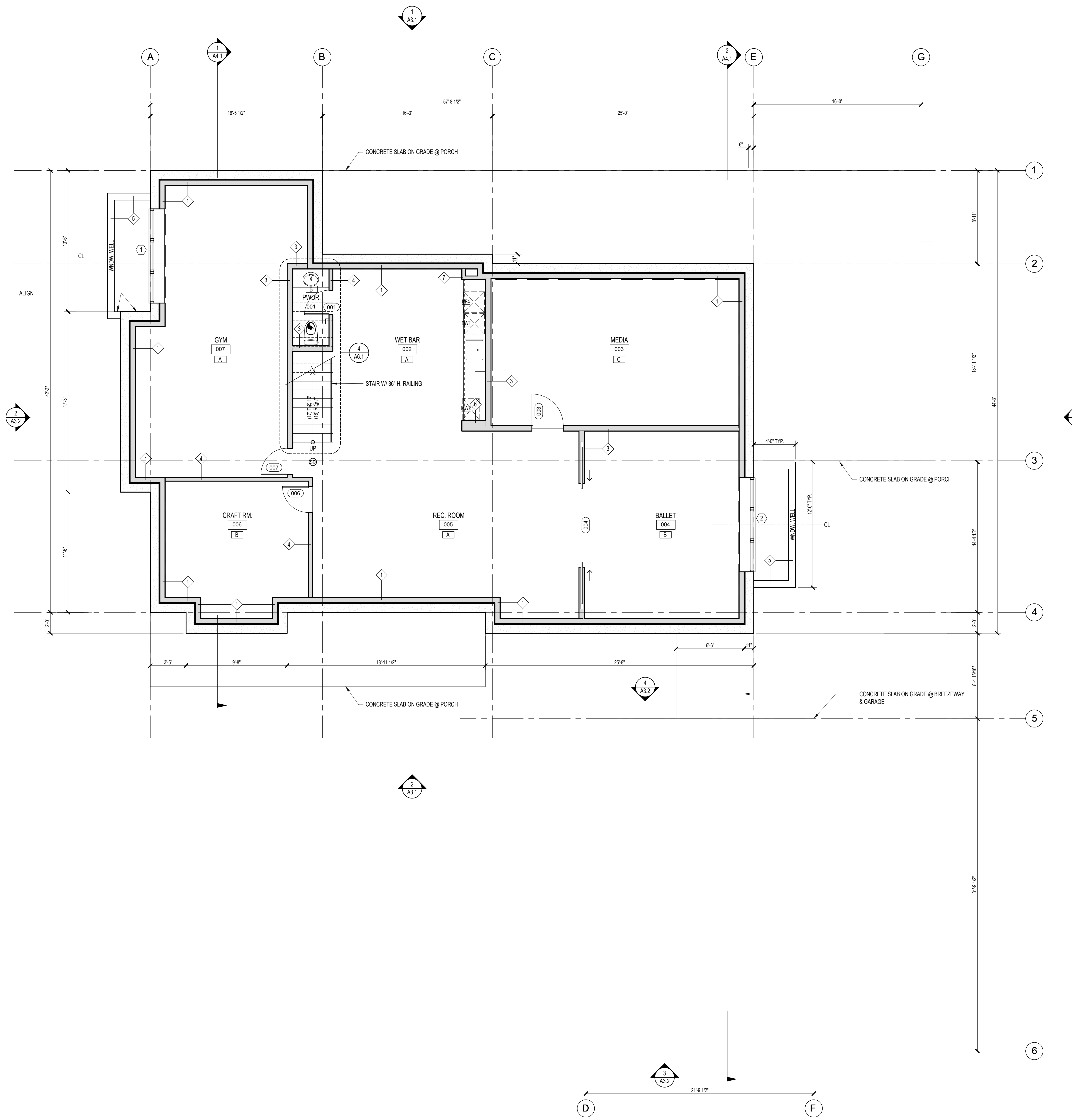
**ARBORIST NOTES:**  
 1. Tree protection fencing with approved signage to be installed prior to commencements of any construction activities and to remain until project completion.  
 2. 3-4" bark mulch to be installed inside tree protection areas.  
 3. Steel plates to be installed as shown under drip lines of exceptional Trees #6, #7 and #10. Absolutely no equipment traffic permitted on steel plates. Foot traffic only.



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REVISION	DATE
1. PERMIT REVISION	4/29/24





**FLOOR PLAN NOTES**

- ALL DIMENSIONS TO F.O. FRAMING U.N.O.
- ALL EXTERIOR WALLS TO BE TYPE 1. U.N.O. REFER TO ASSEMBLY LIST.
- ALL HANDRAILS TO BE 1 1/4" - 2" DIA. AND LOCATED 1 1/2" MIN. FROM ADJACENT WALL ON AT LEAST ONE SIDE OF STAIRS.
- ALL HANDRAILS TO BE 3/4" - 3/8" ABOVE STAIR NOSE.
- ALL GUARDRAILS TO BE 36" H. WITH 4" MAX. CLEAR SPACE BETWEEN INTERMEDIATES.
- ALL DOORS TO BE 4" FROM ADJACENT WALL TO INT. F.O. FINISHED JAMB U.N.O.
- PROVIDE SOLID BLOCKING AT ALL WALL MOUNTED ITEMS. LOCATIONS T.B.D. DURING FRAMING.
- STAIRS TO HAVE MAX RISER HGT. OF 7 7/8". MAX TREAD DEPTH OF 10" AND MIN. HEADROOM OF 80". MAX RISE OF STAIR 12'-0".

**NEW CONSTRUCTION NOTES**

- PATCH/REPAIR, PRIME & PAINT ALL EXISTING FINISHES TO REMAIN.
- PARTITIONS THAT ARE NOT DIMENSIONED ARE TO BE LOCATED FLUSH & SQUARE WITH THE EXISTING PARTITION OR CENTERLINE OF WINDOW MULLION AS SHOWN.
- WALLS THAT APPEAR TO ALIGN DO ALIGN. WALLS THAT APPEAR CENTERED ON COLUMNS OR MULLIONS ARE CENTERED ON COLUMNS OR MULLIONS.
- \*ALIGN\* MEANS TO ACCURATELY LOCATE THE FINISHED FACES IN THE SAME PLANE.
- DIMENSIONS MARKED ± MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION. U.N.O. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. SECURE ARCHITECT'S APPROVAL.
- NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION LAYOUT, NOTIFY ARCHITECT. ALLOW TIME IN THE SCHEDULE FOR VERIFICATION OF THE LAYOUT BY THE ARCHITECT PRIOR TO INSTALLATION.
- ALL WORK SHALL BE ERECTED & INSTALLED PLUMB, LEVEL, SQUARE & TRUE.
- DIMENSIONS LOCATING DOORS ARE TO FINISHED OPENING. UON.
- ALL GLASS SHALL BE CLEAR TEMPERED GLASS, UNLESS OTHERWISE NOTED. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.
- ALL CASEWORK CONSTRUCTION TO MEET AIA PREMIUM GRADE STANDARDS. ALL WOOD TO RECEIVE TRANSPARENT FINISH. FINISH IN ACCORDANCE W/ AIA STANDARDS SECTION 1500. SYSTEM PRECATALYZED LACQUER, TRANSPARENT OR BETTER. DO NOT USE MDF IN WET OR DAMP LOCATIONS. SUBMIT COMPLETE SHOP DRAWINGS FOR REVIEW & APPROVAL PRIOR TO FABRICATION.
- ALL MILLWORK TO BE FASTENED TO THE WALLS. PROVIDE NON-COMBUSTIBLE BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY FLOOR OR ABOVE 4'-0" HT.
- VERIFY LOCATION OF ALL DEVICES (OUTLETS, SWITCHES, HORNS, STROBES, THERMOSTATS, ETC.) PRIOR TO CONNECTION AT ROUGH-IN. NO DEVICE SHALL BE LOCATED IN WALLS OR CEILINGS TO RECEIVE WALLCOVERINGS OR OTHER SPECIALTY PAINTS & /OR FINISHES.
- PER M1504.3 ANY NEW EXHAUST AIR SHALL VENT DIRECTLY TO EXTERIOR OF THE BUILDING.

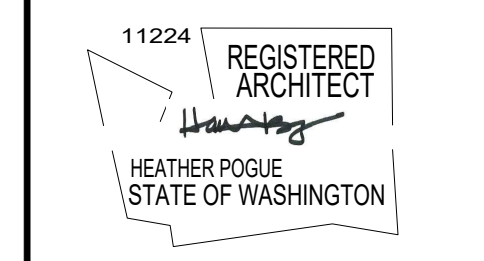
**FLOOR PLAN LEGEND**

- MIN 50 CFM FAN, VENT TO OUTSIDE
- INTERMITTENT WHOLE HOUSE FAN - SEE COVER SHEET FOR SIZE & RUN TIME
- SMOKE/CO COMBO DETECTOR, INTERCONNECTED & HARD WIRED W/ BATTERY BACKUP

JEUNESSE ARCHITECTS  
 7811 GREENWOOD AVE. N. #4110 SEATTLE, WA 98103  
 P. 206.457.7966 | www.jeunessearchitects.com

The Granbols Residence  
 8440 SE 8th Street  
 MERCER ISLAND, WA 98040  
 JA PROJECT NUMBER: 202314

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 PERMIT REVISION . 04/29/24

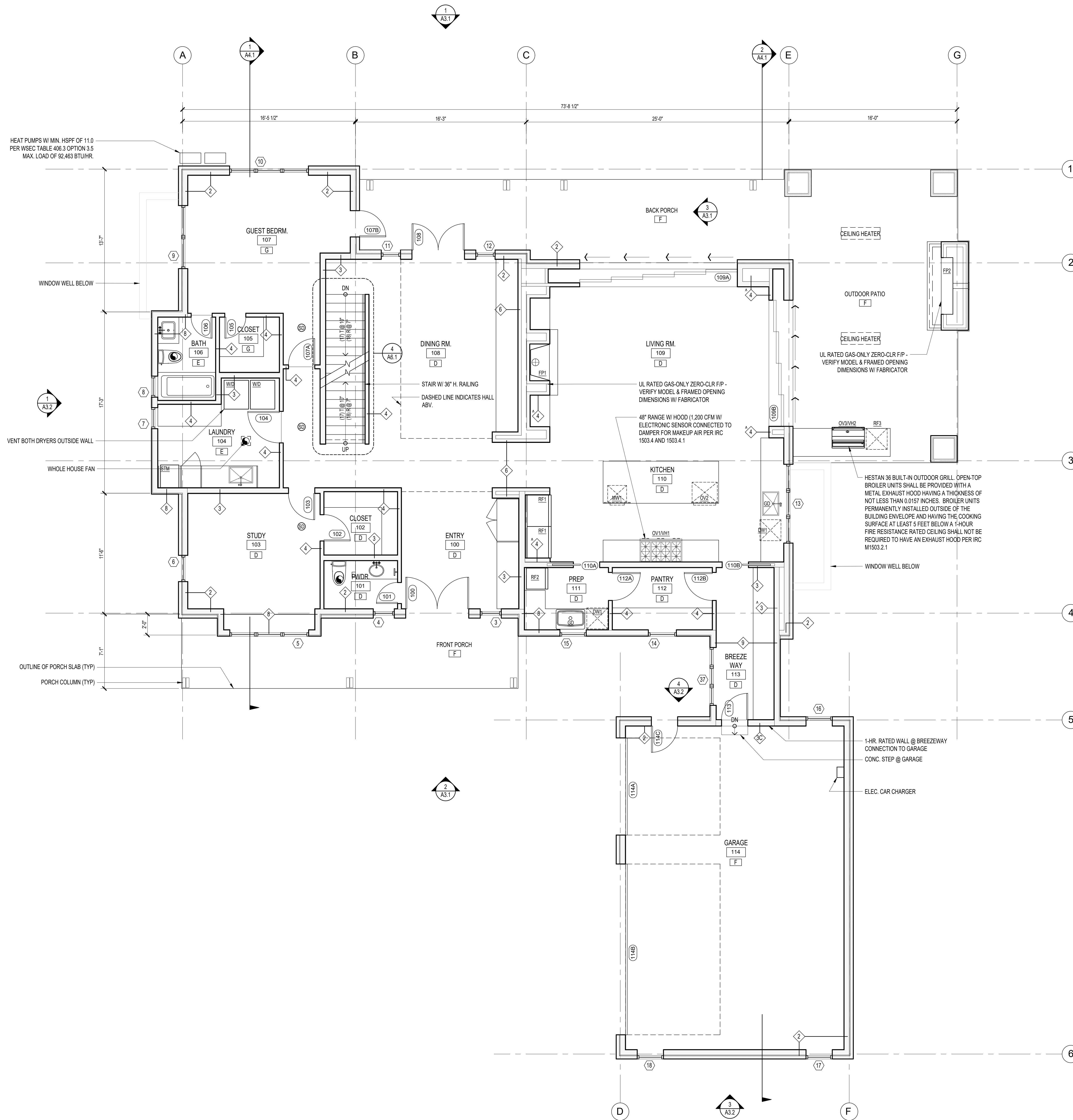
PERMIT SET  
 04/07/2023

**BASEMENT FLOOR PLAN**

**A2.1**

**1 FLOOR PLAN - BASEMENT LEVEL**  
 1/4"=1'-0"





**FLOOR PLAN NOTES**

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- ALL HANDRAILS TO BE 34" - 38" ABOVE STAIR NOSE.
- ALL GUARDRAILS TO BE 36" H. WITH 4" MAX. CLEAR SPACE BETWEEN INTERMEDIATES.
- ALL DOORS TO BE 4" FROM ADJACENT WALL TO INT. F.O. FINISHED JAMB U.N.O.
- PROVIDE SOLID BLOCKING AT ALL WALL MOUNTED ITEMS. LOCATIONS T.B.D. DURING FRAMING.
- STAIRS TO HAVE MAX RISER HGT. OF 7.75". MAX TREAD DEPTH OF 10" AND MIN. HEADROOM OF 80". MAX RISE OF STAIR 12'-0".

**NEW CONSTRUCTION NOTES**

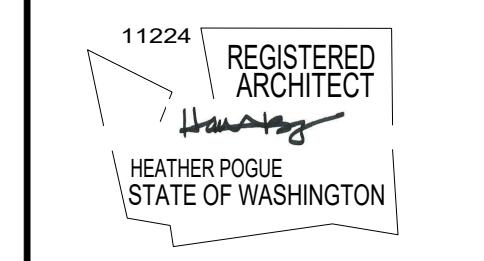
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- PER M1504.3 ANY NEW EXHAUST AIR SHALL VENT DIRECTLY TO EXTERIOR OF THE BUILDING.

**1 FLOOR PLAN - MAIN LEVEL**  
1/4"=1'-0"

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 P. 206.457.7966 | WWW.JEUNESSEARCHITECTS.COM

The Granbois Residence  
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 MERCEY ISLAND, WA 98040  
 JA PROJECT NUMBER: 202314

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REVISION: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PERMIT REVISION: 04/29/24

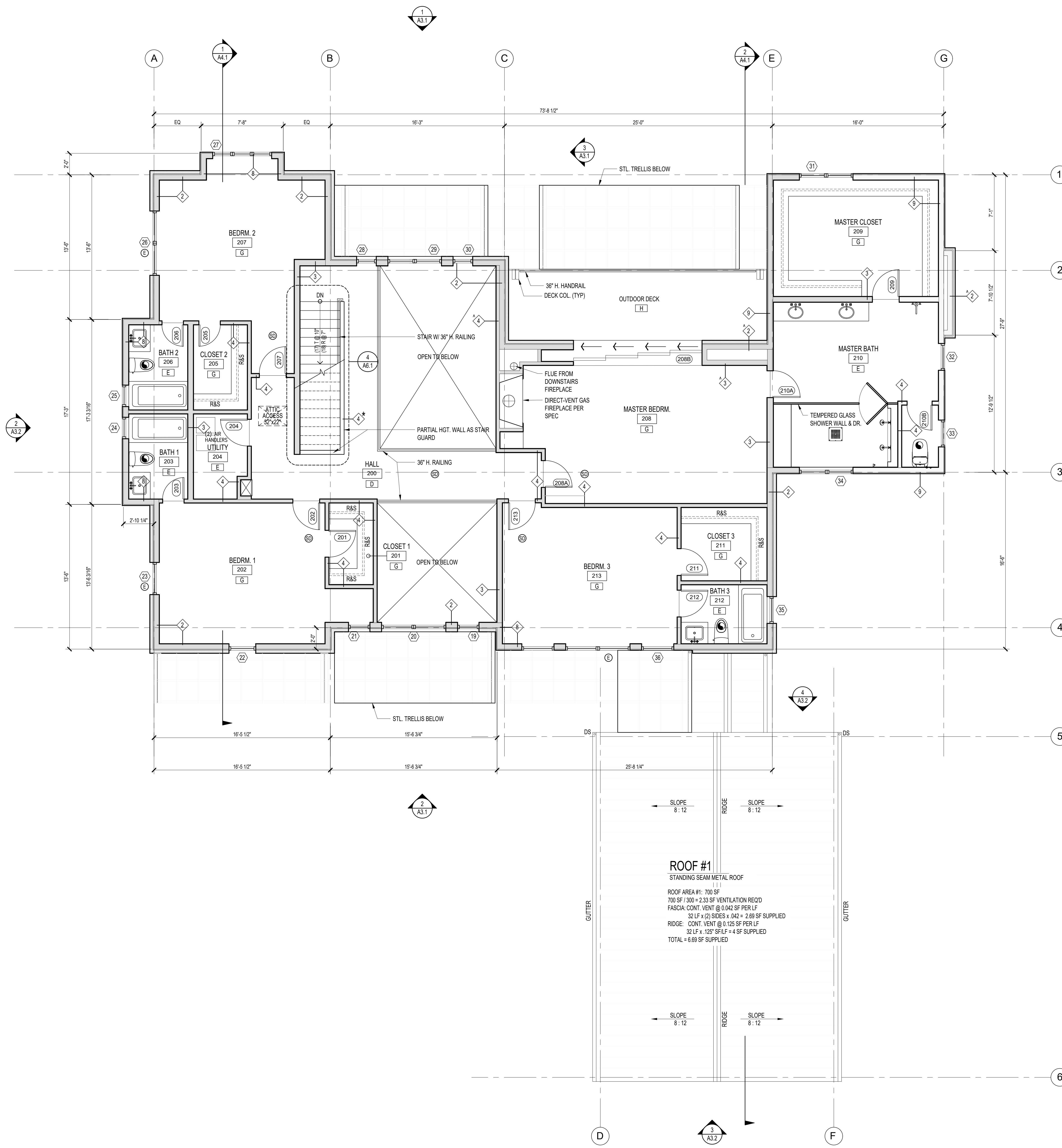
**FLOOR PLAN LEGEND**

- MIN 50 CFM FAN, VENT TO OUTSIDE
- INTERMITTENT WHOLE HOUSE FAN - SEE COVER SHEET FOR SIZE & RUN TIME
- SMOKE/CO COMBO DETECTOR, INTERCONNECTED & HARD WIRED W/ BATTERY BACKUP

PERMIT SET  
 04/07/2023

**MAIN LEVEL FLOOR PLAN**  
**A2.2**





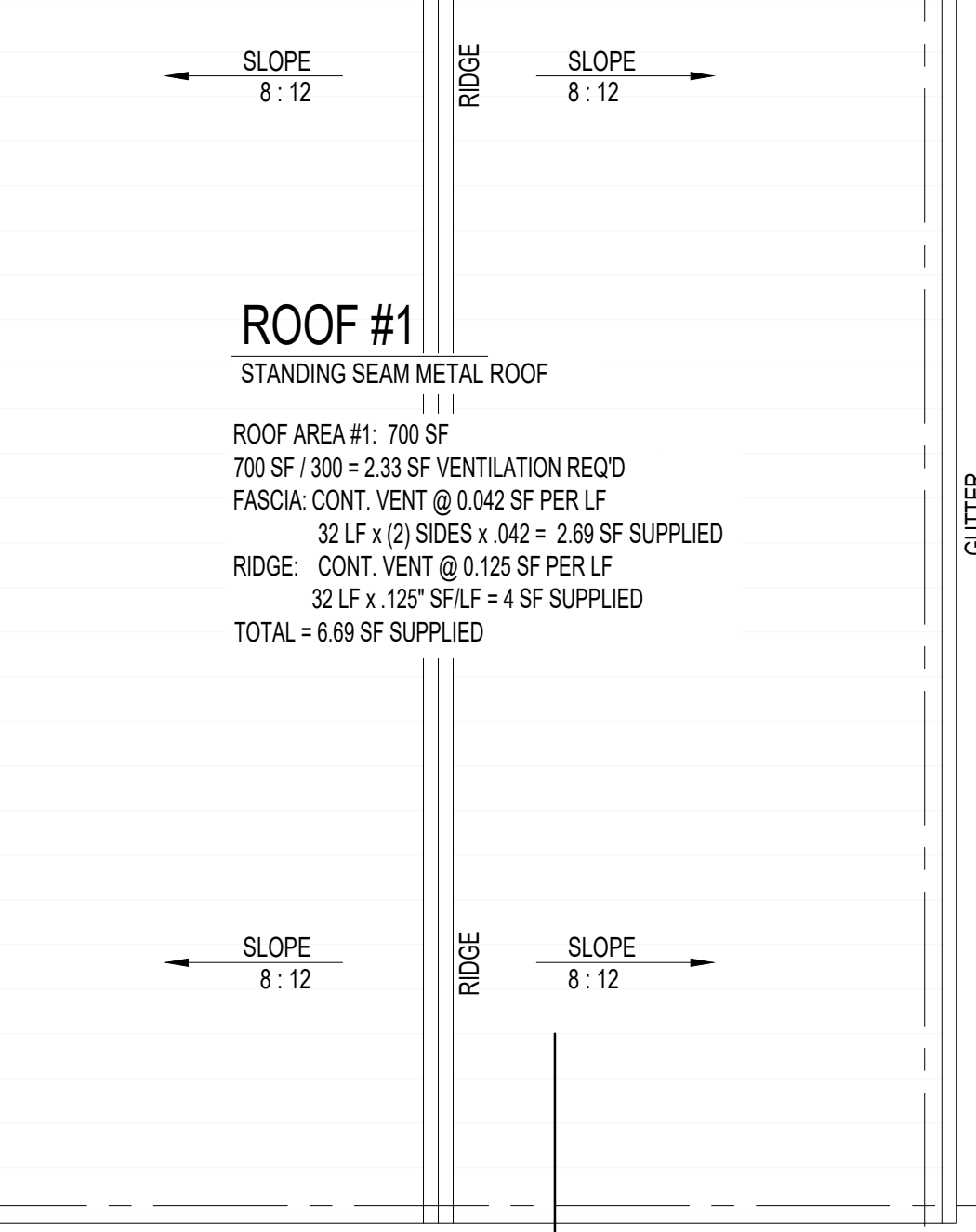
1 FLOOR PLAN - UPPER LEVEL  
1/4"=1'-0"

**FLOOR PLAN NOTES**

- ALL DIMENSIONS TO F.O. FRAMING U.N.O.
- ALL EXTERIOR WALLS TO BE TYPE 1. U.N.O. REFER TO ASSEMBLY LIST.
- ALL HANDRAILS TO BE 1 1/4" - 2" DIA. AND LOCATED 1 1/2" MIN. FROM ADJACENT WALL ON AT LEAST ONE SIDE OF STAIRS.
- ALL HANDRAILS TO BE 34" - 38" ABOVE STAIR NOSE.
- ALL GUARDRAILS TO BE 36" H. WITH 4" MAX. CLEAR SPACE BETWEEN INTERMEDIATES.
- ALL DOORS TO BE 4" FROM ADJACENT WALL TO INT. F.O. FINISHED JAMB U.N.O.
- PROVIDE SOLID BLOCKING AT ALL WALL MOUNTED ITEMS. LOCATIONS T.B.D. DURING FRAMING.
- STAIRS TO HAVE MAX RISER HGT. OF 7 7/8". MAX TREAD DEPTH OF 10" AND MIN. HEADROOM OF 80". MAX RISE OF STAIR 12'-0".

**NEW CONSTRUCTION NOTES**

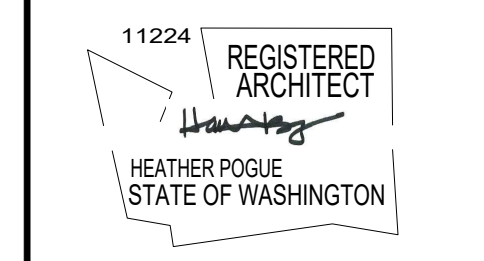
- PATCH/REPAIR, PRIME & PAINT ALL EXISTING FINISHES TO REMAIN.
- PARTITIONS THAT ARE NOT DIMENSIONED ARE TO BE LOCATED FLUSH & SQUARE WITH THE EXISTING PARTITION OR CENTERLINE OF WINDOW MULLION AS SHOWN.
- WALLS THAT APPEAR TO ALIGN DO ALIGN. WALLS THAT APPEAR CENTERED ON COLUMNS OR MULLIONS ARE CENTERED ON COLUMNS OR MULLIONS.
- 'ALIGN' MEANS TO ACCURATELY LOCATE THE FINISHED FACES IN THE SAME PLANE.
- DIMENSIONS MARKED ± MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION. U.N.O. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. SECURE ARCHITECT'S APPROVAL.
- NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION LAYOUT, NOTIFY ARCHITECT. ALLOW TIME IN THE SCHEDULE FOR VERIFICATION OF THE LAYOUT BY THE ARCHITECT PRIOR TO INSTALLATION.
- ALL WORK SHALL BE ERECTED & INSTALLED PLUMB, LEVEL, SQUARE & TRUE.
- DIMENSIONS LOCATING DOORS ARE TO FINISHED OPENING. U.N.O.
- ALL GLASS SHALL BE CLEAR TEMPERED GLASS, UNLESS OTHERWISE NOTED. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.
- ALL CASEWORK CONSTRUCTION TO MEET AWP PREMIUM GRADE STANDARDS. ALL WOOD TO RECEIVE TRANSPARENT FINISH. FINISH IN ACCORDANCE W/ AWP STANDARDS. SECTION 1500. SYSTEM PRECATALYZED LACQUER, TRANSPARENT OR BETTER. DO NOT USE MDF IN WET OR DAMP LOCATIONS. SUBMIT COMPLETE SHOP DRAWINGS FOR REVIEW & APPROVAL PRIOR TO FABRICATION.
- ALL MILLWORK TO BE FASTENED TO THE WALLS. PROVIDE NON-COMBUSTIBLE BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY FLOOR OR ABOVE 4'-0" HT.
- VERIFY LOCATION OF ALL DEVICES (OUTLETS, SWITCHES, HORNS, STROBES, THERMOSTATS, ETC.) PRIOR TO CONNECTION AT ROUGH-IN. NO DEVICE SHALL BE LOCATED IN WALLS OR CEILINGS TO RECEIVE WALLCOVERINGS OR OTHER SPECIALTY PAINTS & /OR FINISHES.
- PER M1504.3 ANY NEW EXHAUST AIR SHALL VENT DIRECTLY TO EXTERIOR OF THE BUILDING.



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The Granbois Residence  
 8440 SE 8th Street  
 MERCER ISLAND, WA 98040  
 JA PROJECT NUMBER: 202314

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**FLOOR PLAN LEGEND**

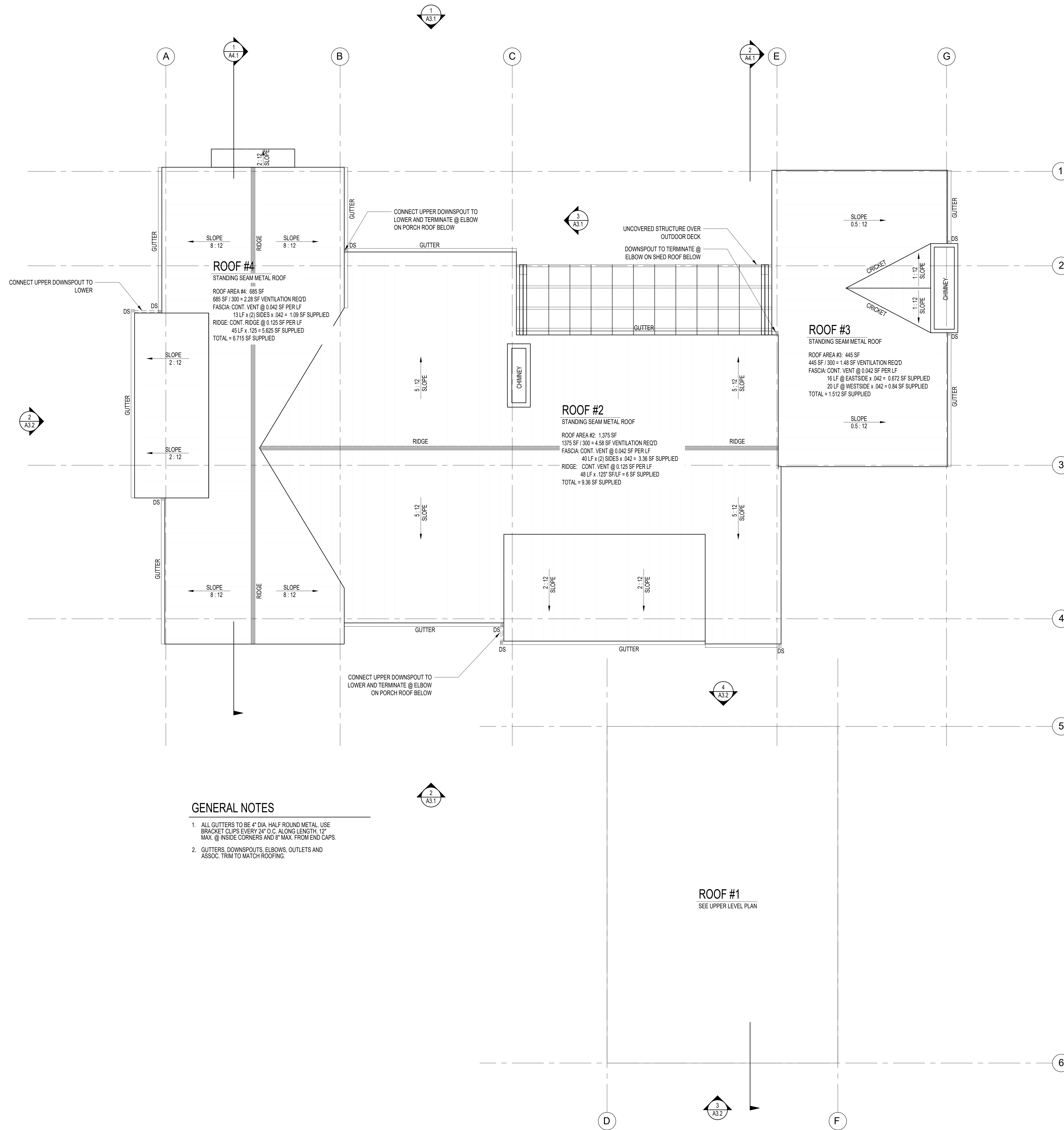
- MIN 50 CFM FAN, VENT TO OUTSIDE
- INTERMITTENT WHOLE HOUSE FAN - SEE COVER SHEET FOR SIZE & RUN TIME
- SMOKE/CO COMBO DETECTOR, INTERCONNECTED & HARD WIRED W/ BATTERY BACKUP
- EGRESS WINDOW

UPPER LEVEL  
 FLOOR PLAN

A2.3

PERMIT SET  
04/07/2023





- GENERAL NOTES**
- ALL GUTTERS TO BE 4" DIA. HALF ROUND METAL. USE BRACKET CLIPS EVERY 24" O.C. ALONG LENGTH. 12" MAX. @ INSIDE CORNERS AND 8" MAX. FROM END CAPS.
  - GUTTERS, DOWNSPOUTS, ELBOWS, OUTLETS AND ASSOC. TRIM TO MATCH ROOFING.

**1 ARCHITECTURAL ROOF PLAN**  
1/4"=1'-0"

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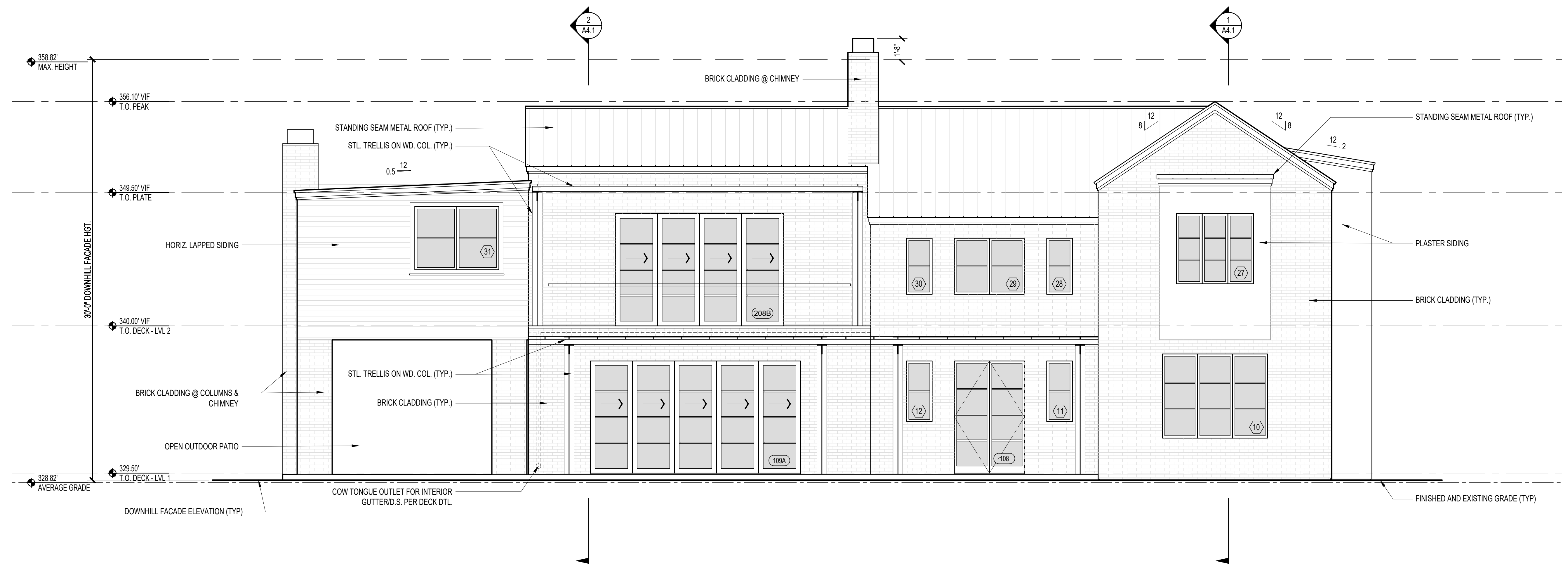
11224 REGISTERED ARCHITECT  
HEATHER POGUE  
STATE OF WASHINGTON

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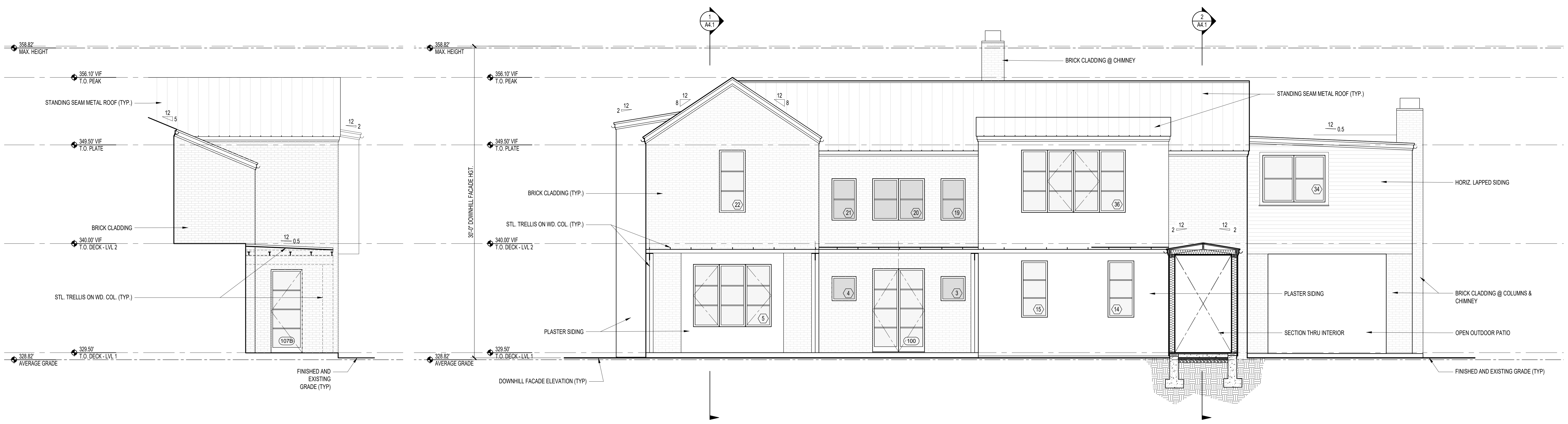
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04/07/2023

ROOF PLAN  
**A2.4**





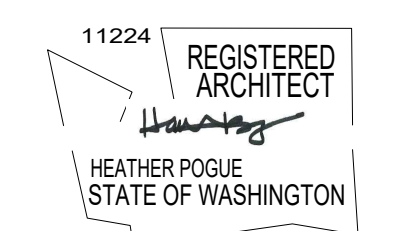
**1** PROPOSED ELEVATION - NORTH  
1/4"=1'-0"



**2** PROPOSED ELEVATION - SOUTH  
1/4"=1'-0"

**3** PROPOSED ELEVATION - EAST AT BACK PORCH  
1/4"=1'-0"

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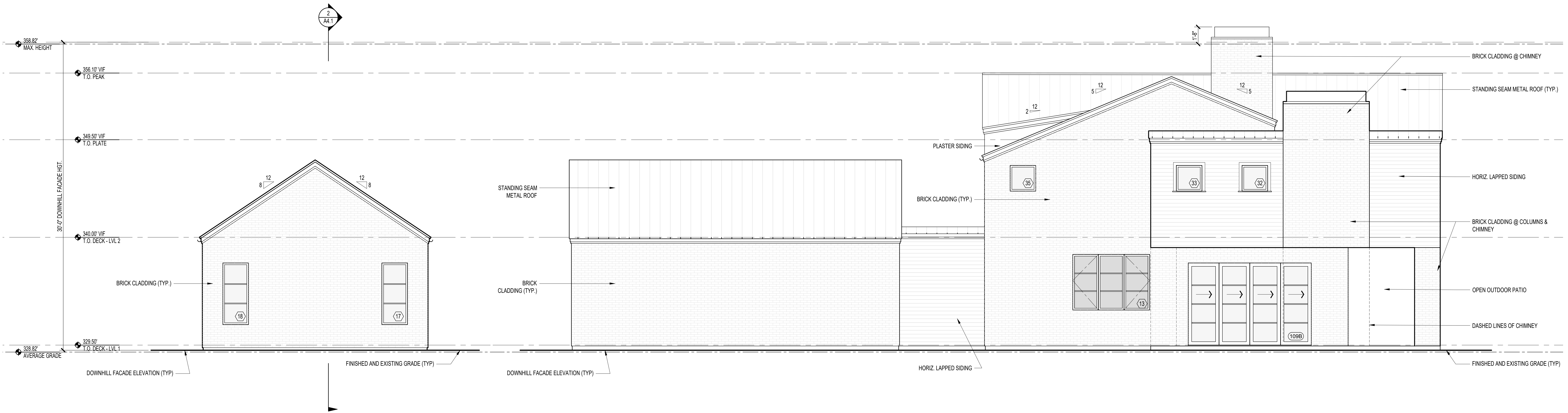
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ELEVATIONS

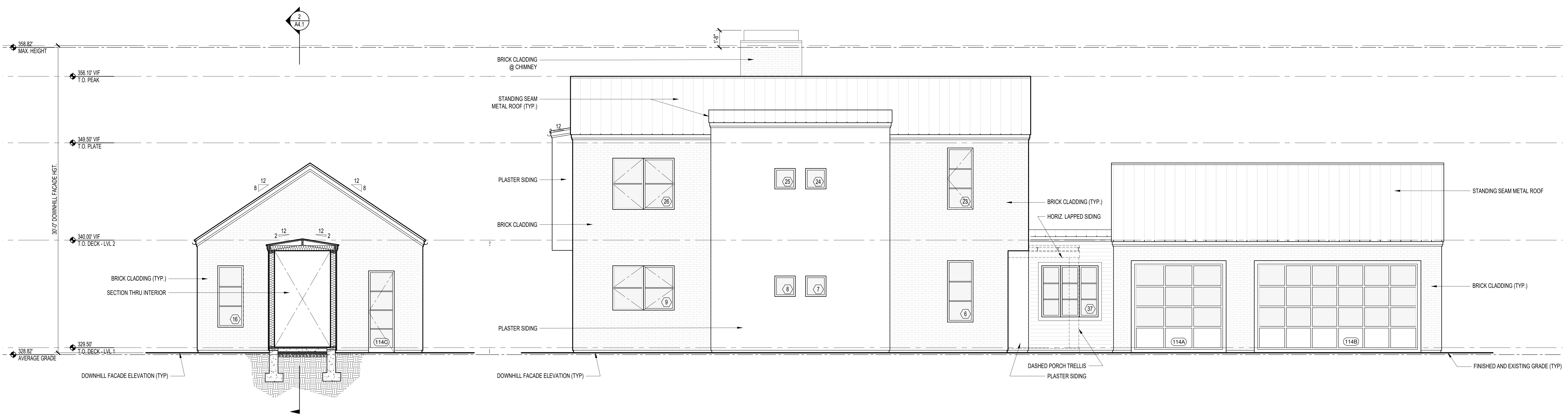
**A3.1**





3 PROPOSED ELEVATION - GARAGE SOUTH  
1/4"=1'-0"

1 PROPOSED ELEVATION - WEST  
1/4"=1'-0"

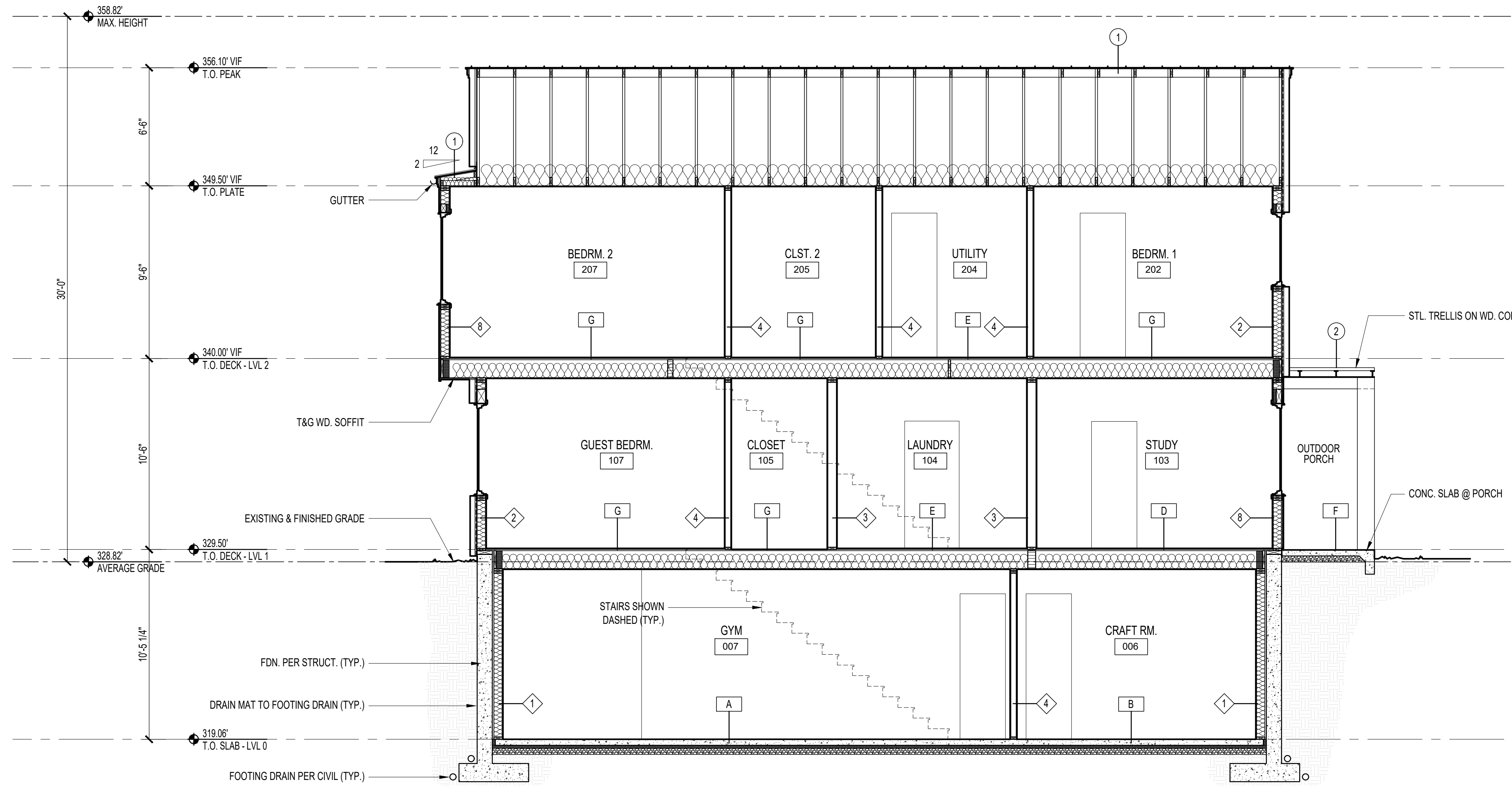
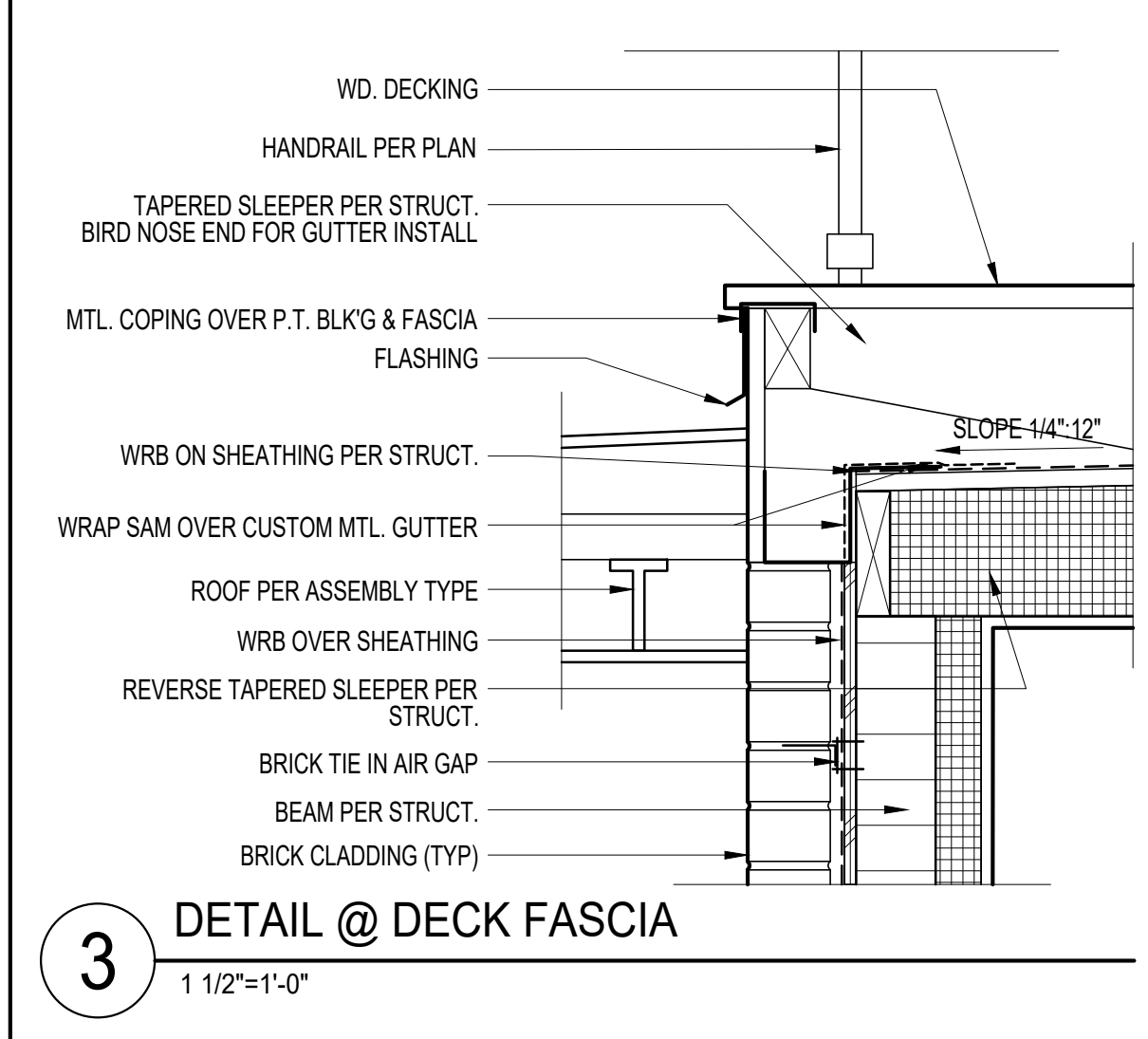


4 PROPOSED ELEVATION - GARAGE NORTH  
1/4"=1'-0"

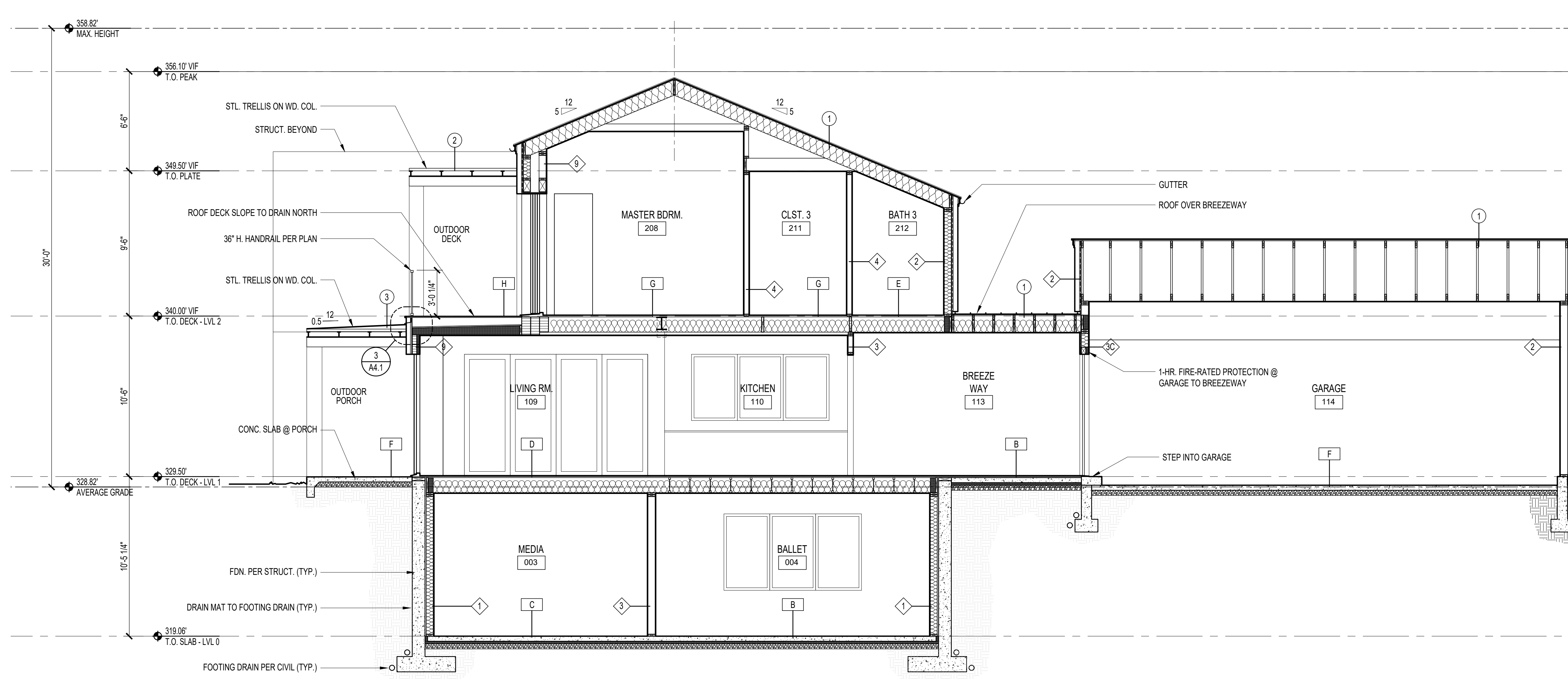
2 PROPOSED ELEVATION - EAST  
1/4"=1'-0"



FLOOR ASSEMBLIES	WALL ASSEMBLIES	ROOF ASSEMBLIES
<p>EPOXY SEAL ON STRUCTURAL CONC. SLAB R-10 RIGID INSUL. (RATED FOR UNDERSLAB INSTALL) VAPOR BARRIER CAPILLARY FILL STRUCT. FILL PER STRUCT.</p>	<p>CONCRETE WALL PER STRUCT. ROUGH FORMED W/ WATER REPELLENT SEALER R-21 RIGID INSUL. W/ VAPOR BARRIER TO HEATED SIDE WD. STUD 1/2" GWB DRAIN MAT (SUB-GRADE ONLY) FREE DRAINING GRAVEL (SUB-GRADE ONLY) BACKFILL (SUB-GRADE ONLY)</p>	<p>STANDING SEAM MTL. ROOF ICE AND WATER SHIELD PLYWD. DK. PER STRUCT. R-38 BATT INSUL. W/ 1" MIN. SPACE TO PLYWD. DK. WD. RAFTERS PER STRUCT. VAPOR BARRIER 5/8" GWB CEILING, 1X4 T&amp;G SOFFIT @ EXTERIOR (IF OVERHANG SHOWN)</p>
<b>A</b> EPOXY OVER CONCRETE	<b>1</b> EXT. CONCRETE FURR WALL	<b>1</b> METAL PANEL ROOF
<p>3/4" WD. FLOOR ON (2) LAYERS 5/8" PLYWD. CLEAR SEAL ON STRUCTURAL CONC. SLAB R-10 RIGID INSUL. (RATED FOR UNDERSLAB INSTALL) VAPOR BARRIER CAPILLARY FILL STRUCT. FILL PER STRUCT.</p>	<p>FACE BRICK AIR SPACE 5/8" GWB VAPOR BARRIER WD. STUD (2) LAYERS 60 MIN. PAPER (1 ON 1) ON 1/2" PLYWD. SHEATHINGS R-21 BATT INSUL.</p>	<p>STL. FLAT BAR PER STRUCT. @ 24" O.C. STL. T-BAR PER STRUCT. @ 24" O.C. STL. T-BAR PER STRUCT. @ COL. WD. COL.</p>
<b>B</b> WD. OVER CONCRETE	<b>2</b> EXTERIOR BRICK ON FRAMING	<b>2</b> METAL TRELLIS
<p>CARPET CARPET PAD CLEAR SEAL ON STRUCTURAL CONC. SLAB R-10 RIGID INSUL. (RATED FOR UNDERSLAB INSTALL) VAPOR BARRIER CAPILLARY FILL STRUCT. FILL PER STRUCT.</p>	<p>SOUND INSULATION PER PLAN WD. STUD 1/2" GWB 1/2" CEM. BD. IN LIEU OF GWB PER TILE / SHOWER LOCATIONS, VER. W/ PLAN 1/2" MOISTURE RESISTANT GWB TO DAMP SIDE (BATHS) TYPE 'X' GWB FOR 1-HOUR RATING W/ R-21 INSULATION IN CAVITY</p>	<p>STL. PANEL PER STRUCT. (WHERE SHOWN) STL. FLAT BAR PER STRUCT. @ 24" O.C. STL. T-BAR PER STRUCT. @ 24" O.C. STL. T-BAR PER STRUCT. @ COL. WD. COL.</p>
<b>C</b> CPT. OVER CONCRETE	<b>3</b> 3A-3B-3C TYP. INTERIOR WALL	<b>3</b> METAL TRELLIS ROOF
<p>3/4" HDWD. FLOOR PLYWD. SUBFLOOR FLOOR JOISTS PER STRUCT SOUNDPROOFING 1/2" EXTRA STRONG GWB</p>	<p>SOUND INSULATION PER PLAN WD. STUD 1/2" GWB 1/2" CEM. BD. IN LIEU OF GWB PER TILE / SHOWER LOCATIONS, VER. W/ PLAN 1/2" MOISTURE RESISTANT GWB TO DAMP SIDE (BATHS)</p>	<p>STL. PANEL PER STRUCT. (WHERE SHOWN) STL. FLAT BAR PER STRUCT. @ 24" O.C. STL. T-BAR PER STRUCT. @ 24" O.C. STL. T-BAR PER STRUCT. @ COL. WD. COL.</p>
<b>D</b> WD. OVER WD. FRAMING	<b>4</b> 4A-4B TYP. INTERIOR WALL	
<p>THIN SET TILE ON ANTI-FRACTURE MEMBRANE 1/2" CEM. BD. PLYWD. SUBFLOOR FLOOR JOISTS PER STRUCT SOUNDPROOFING 1/2" EXTRA STRONG GWB</p>	<p>CONCRETE WALL PER STRUCT. ROUGH FORMED W/ WATER REPELLENT SEALER DRAIN MAT (SUB-GRADE ONLY) FREE DRAINING GRAVEL (SUB-GRADE ONLY) BACKFILL (SUB-GRADE ONLY)</p>	
<b>E</b> TILE ON WD. FRAMING	<b>5</b> EXT. CONCRETE WALL	
<p>CLEAR SEAL ON HARD-TROWELED STRUCTURAL CONC. SLAB; SLOPE TO DRAIN CAPILLARY FILL STRUCT. FILL PER STRUCT.</p>	<p>1/2" GWB WD. STUD "DIMENSION PER PLAN"</p>	
<b>F</b> CONCRETE SLAB ON GRADE	<b>6</b> TYP. INTERIOR CAVITY WALL	
<p>CARPET ON CARPET PAD PLYWD. SUBFLOOR FLOOR JOISTS PER STRUCT SOUNDPROOFING 1/2" EXTRA STRONG GWB</p>	<p>*FRAME POCKET DOOR, CAVITY WALL PER MANUF. INSTALL INSTRUCTIONS 1/2" GWB WD. STUD "DIMENSION PER PLAN"</p>	
<b>G</b> CARPET ON WD. FRAMING	<b>7</b> TYP. INTERIOR FURR WALL	
<p>WD. DECKING TAPERED SLEEPER PER STRUCT. WRB ON SHEATHING PER STRUCT. REVERSE TAPERED SLEEPER PER STRUCT. FLOOR JOISTS PER STRUCT R-38 INSUL. 1/2" EXTRA STRONG GWB</p>	<p>R-21 BATT INSUL. W/ VAPOR BARRIER TO HEATED SIDE 2 LAYERS 60 MIN. PAPER (1 ON 1) ON 1/2" PLYWD. WD. STUD 1/2" GWB STUCCO BASE AND FINISH COAT ON SELF FURRING LATH</p>	
<b>H</b> DECK ON WD. FRAMING	<b>8</b> TYP. EXTERIOR PLASTER	
<p>WALL TYPE MARK STUD SIZE: R-2X6, R-2X8, ETC. OTHER THAN STUD NOTED IN ASSEMBLY WALL TYPE BELOW</p>	<p>R-21 BATT INSUL. W/ VAPOR BARRIER TO HEATED SIDE 2 LAYERS 60 MIN. PAPER (1 ON 1) ON 1/2" PLYWD. WD. STUD 1/2" GWB HORIZONTAL BEVELED LAP SIDING, 4" EXPOSURE</p>	
<b>WALL TYPE KEY</b>	<b>9</b> TYP. LAPPED SIDING	



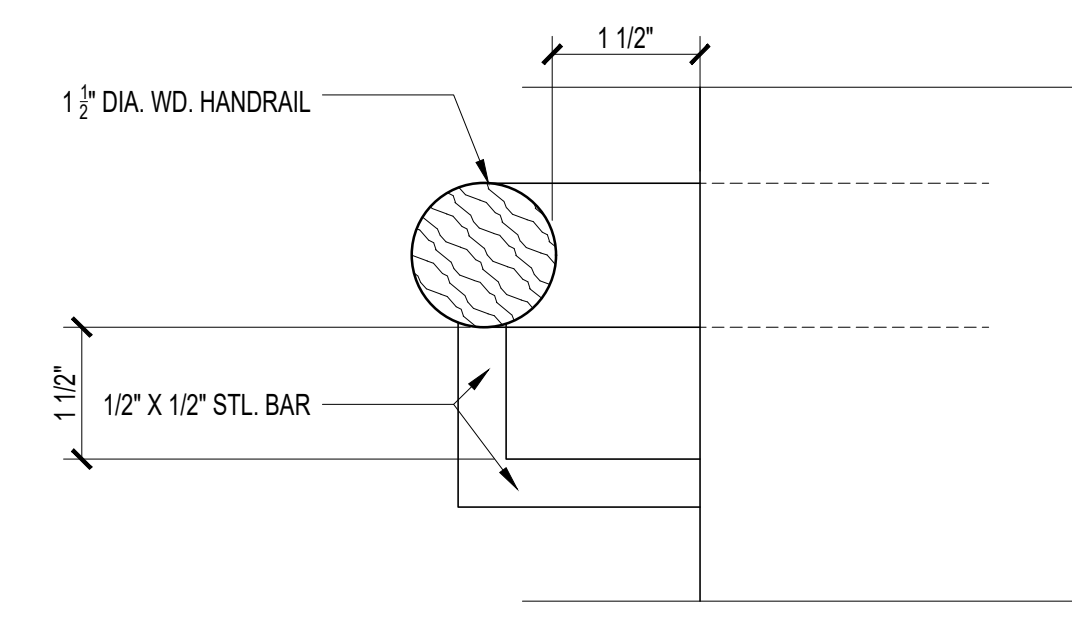
**1** BUILDING SECTION LOOKING EAST THROUGH GUEST SUITE  
1/4"=1'-0"



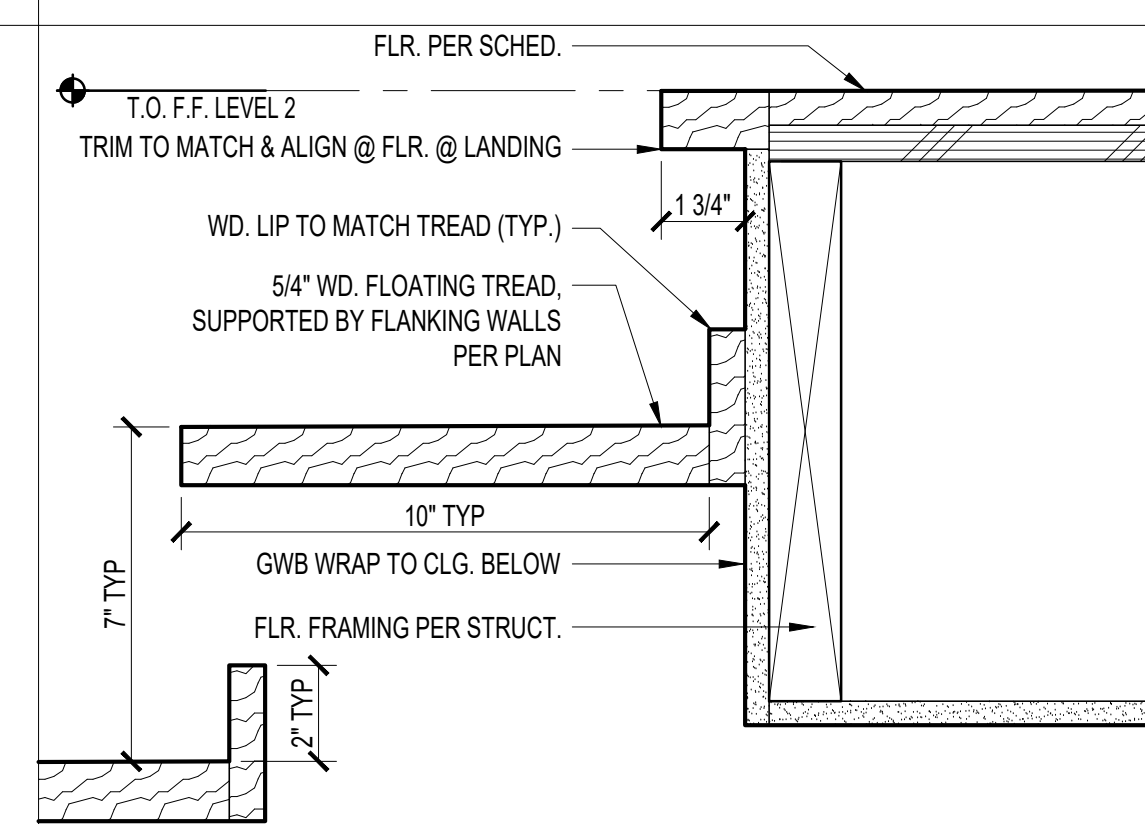
**2** BUILDING SECTION LOOKING EAST THROUGH BREEZEWAY  
1/4"=1'-0"

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 PERMIT SET  
 04/07/2023  
 BUILDING SECTIONS  
**A4.1**

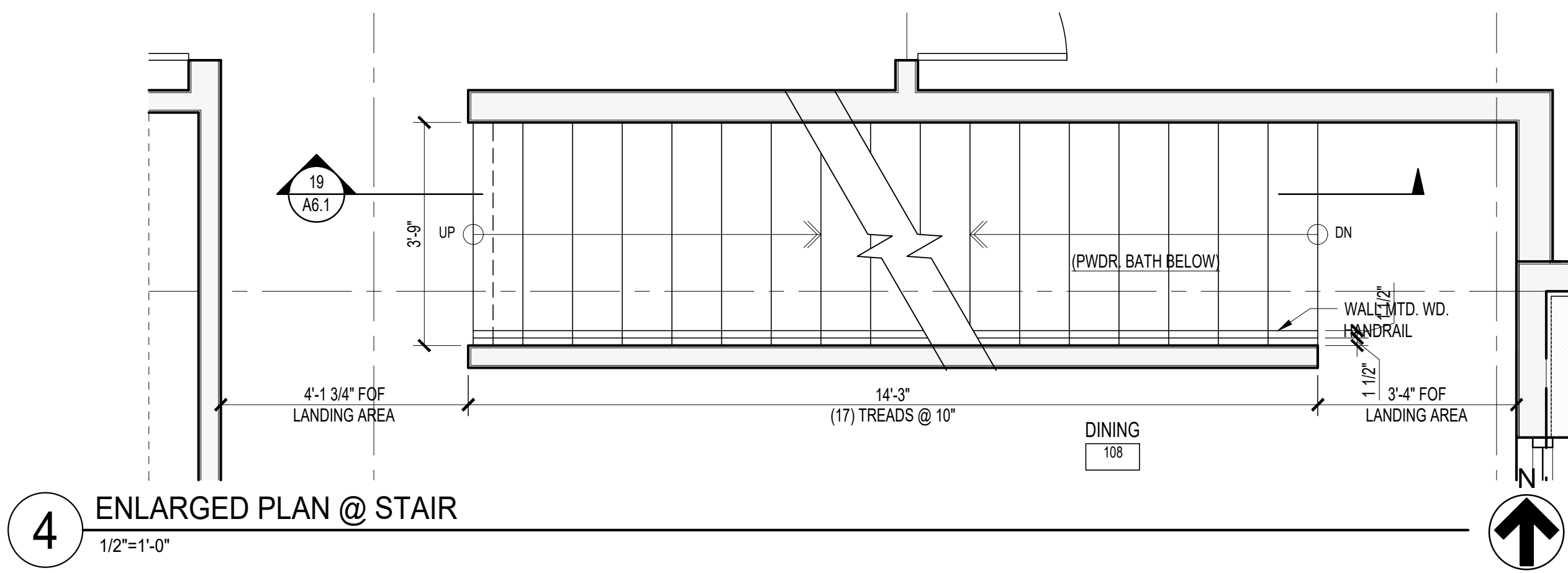




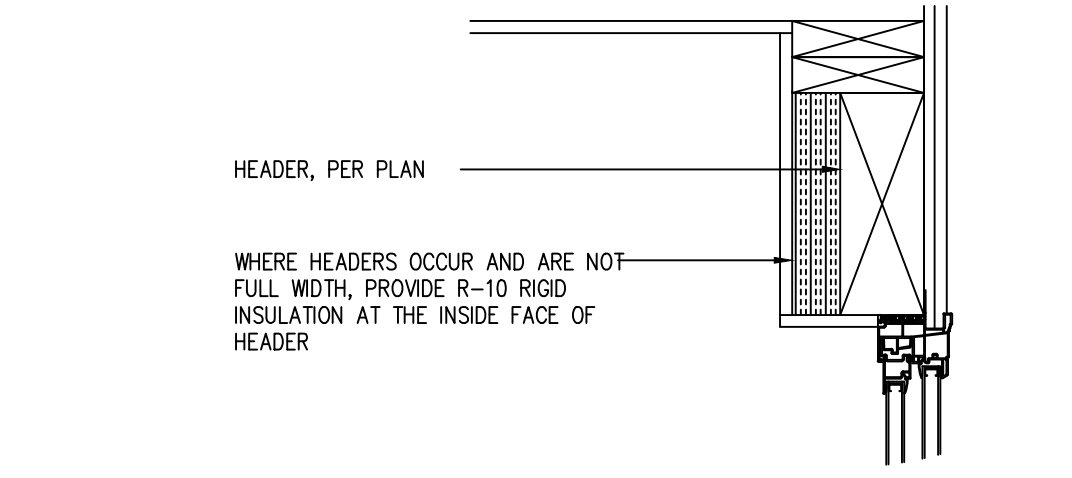
**2 HANDRAIL DETAIL**  
1/2"=1'-0"



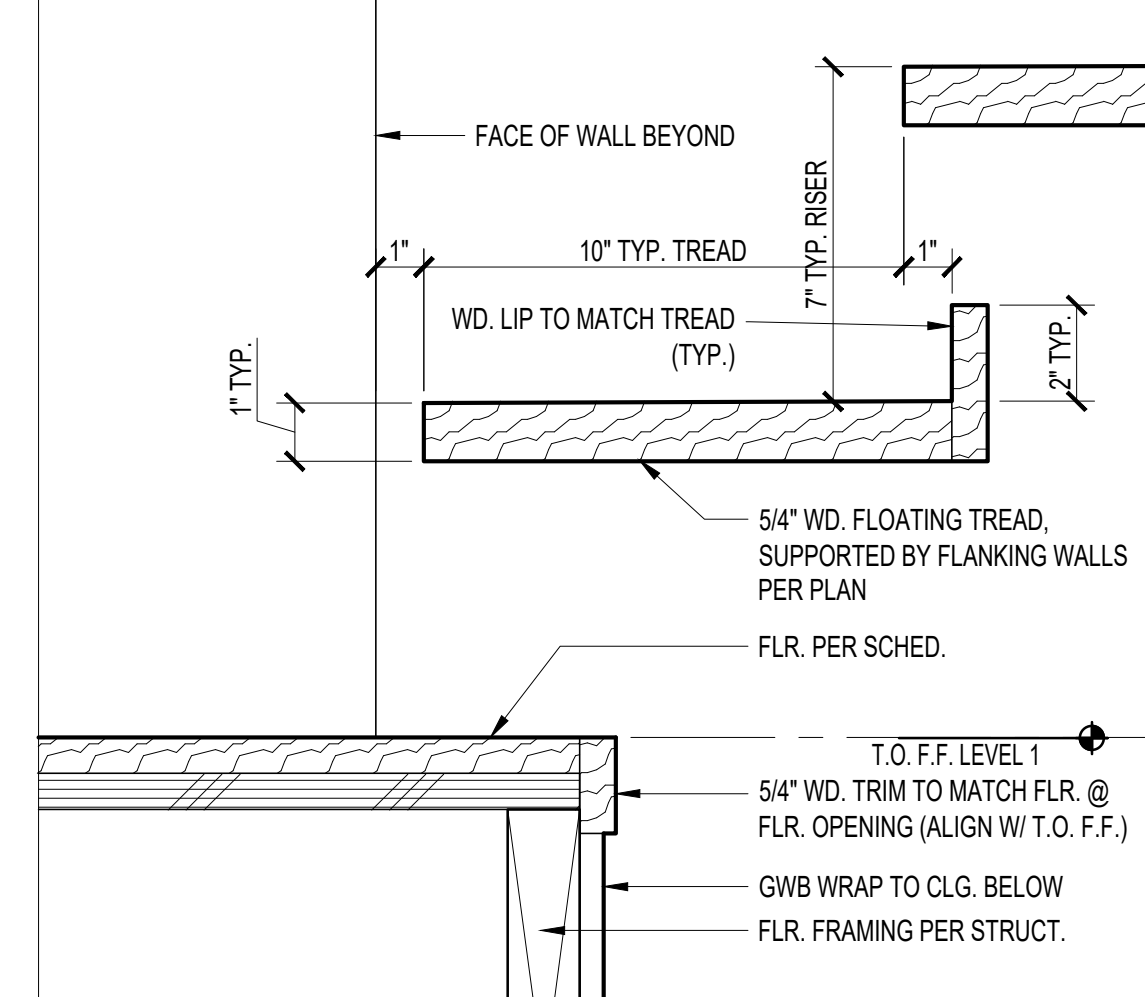
**3 STAIR - CONNECTION @ UPPER LANDING**  
3/8"=1'-0"



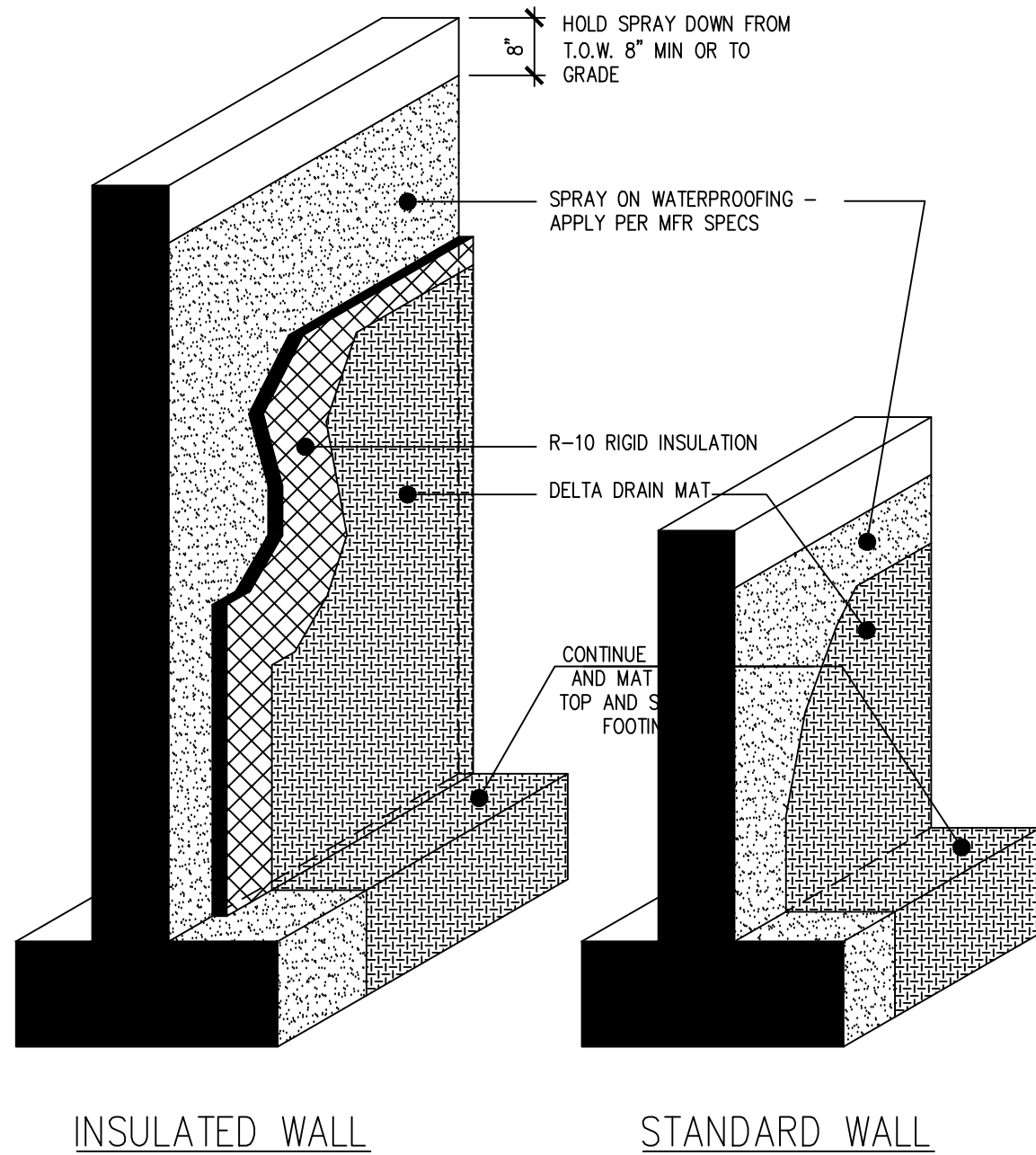
**4 ENLARGED PLAN @ STAIR**  
1/2"=1'-0"



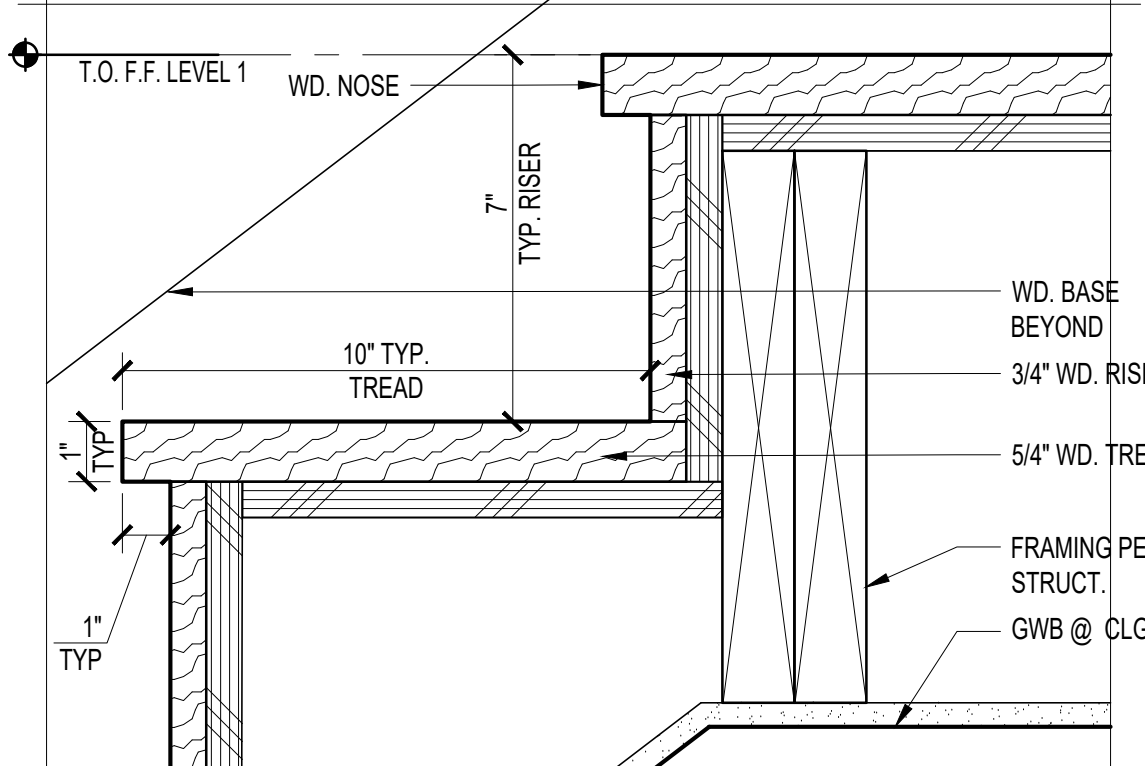
**7 TYPICAL HEADER INSULATION**  
3/4"=1'-0"



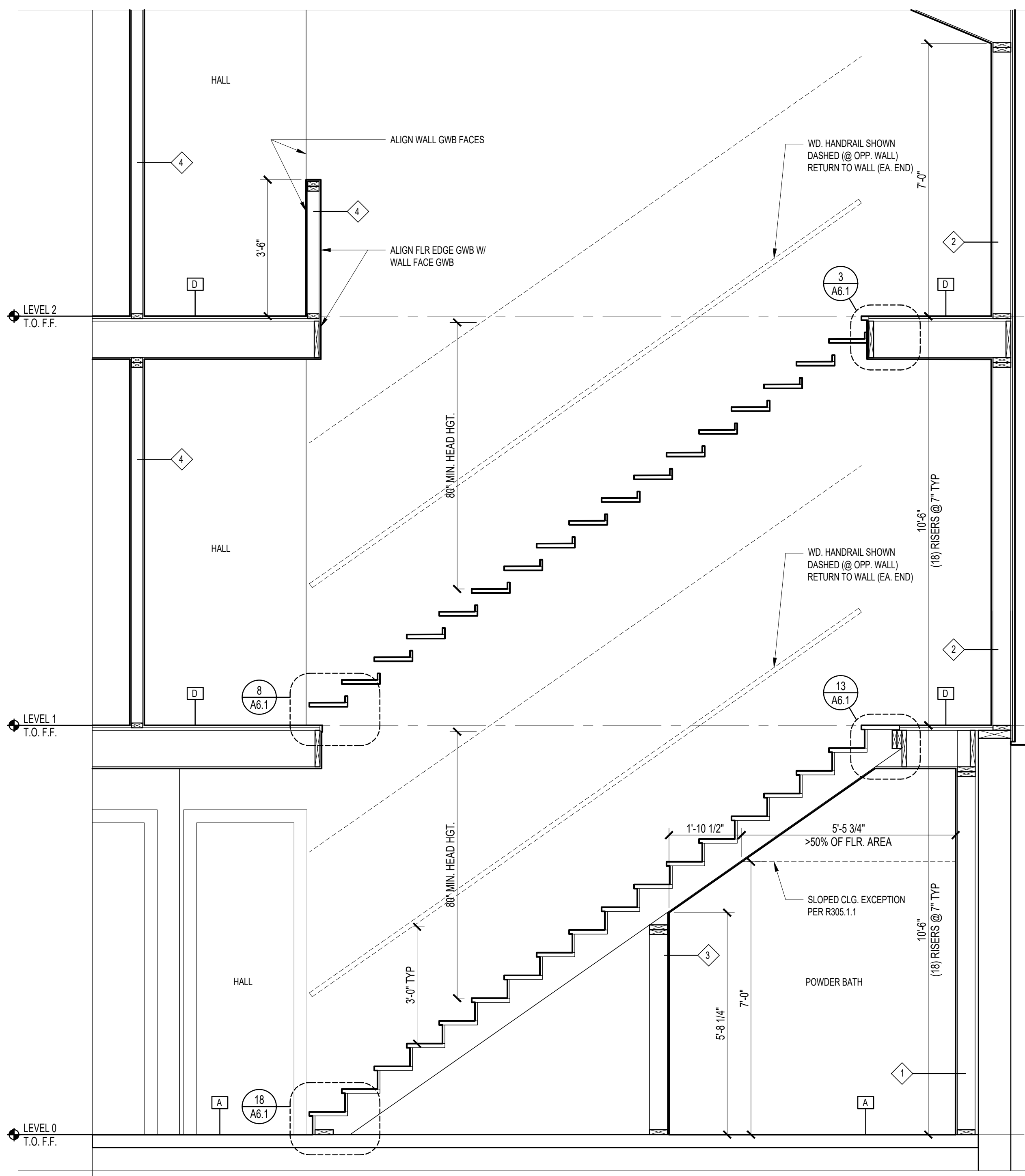
**8 STAIR - CONNECTION @ MAIN LEVEL (ENTRY)**  
3/8"=1'-0"



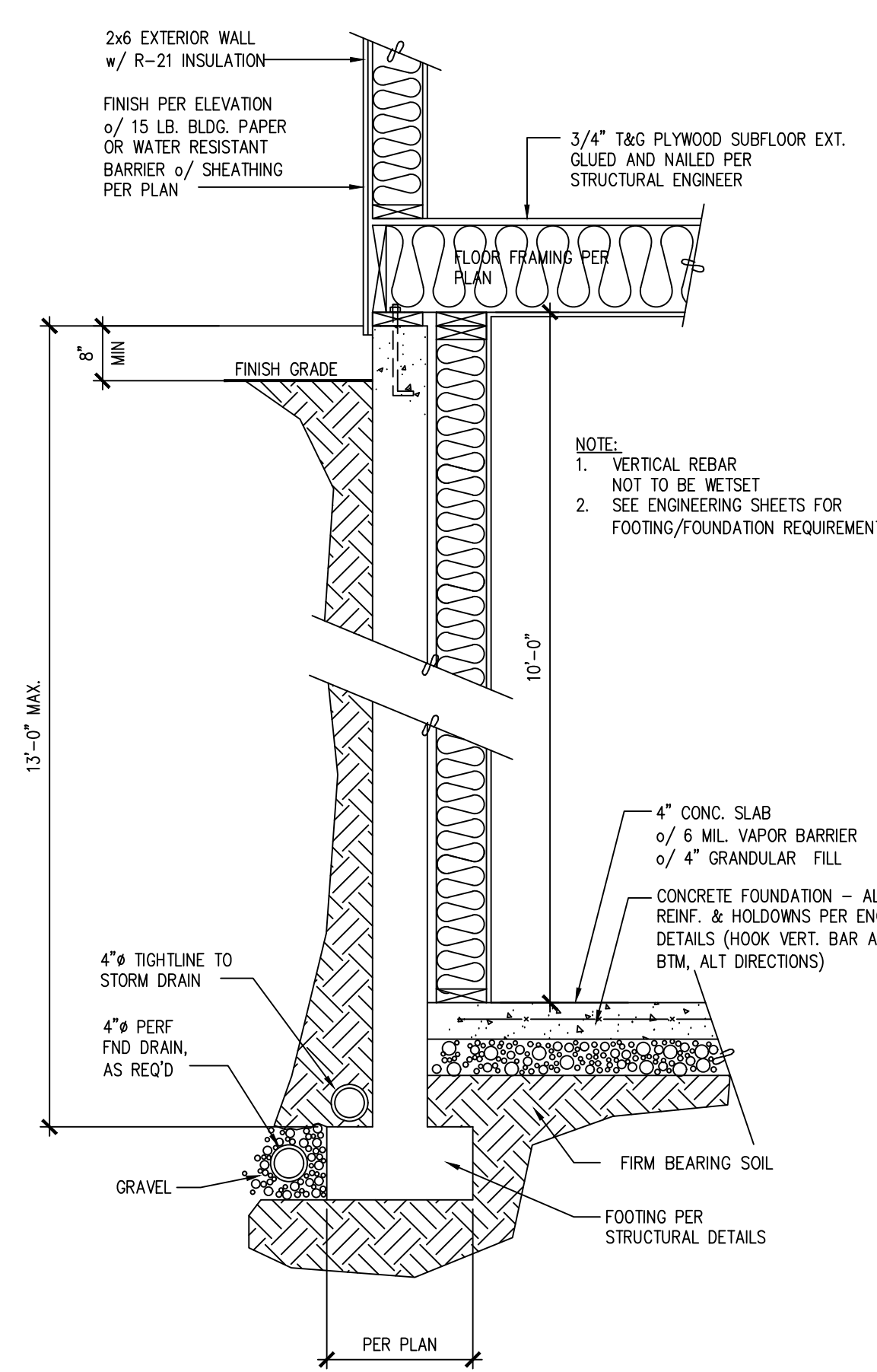
**12 TYPICAL FOUNDATION**  
3/4"=1'-0"



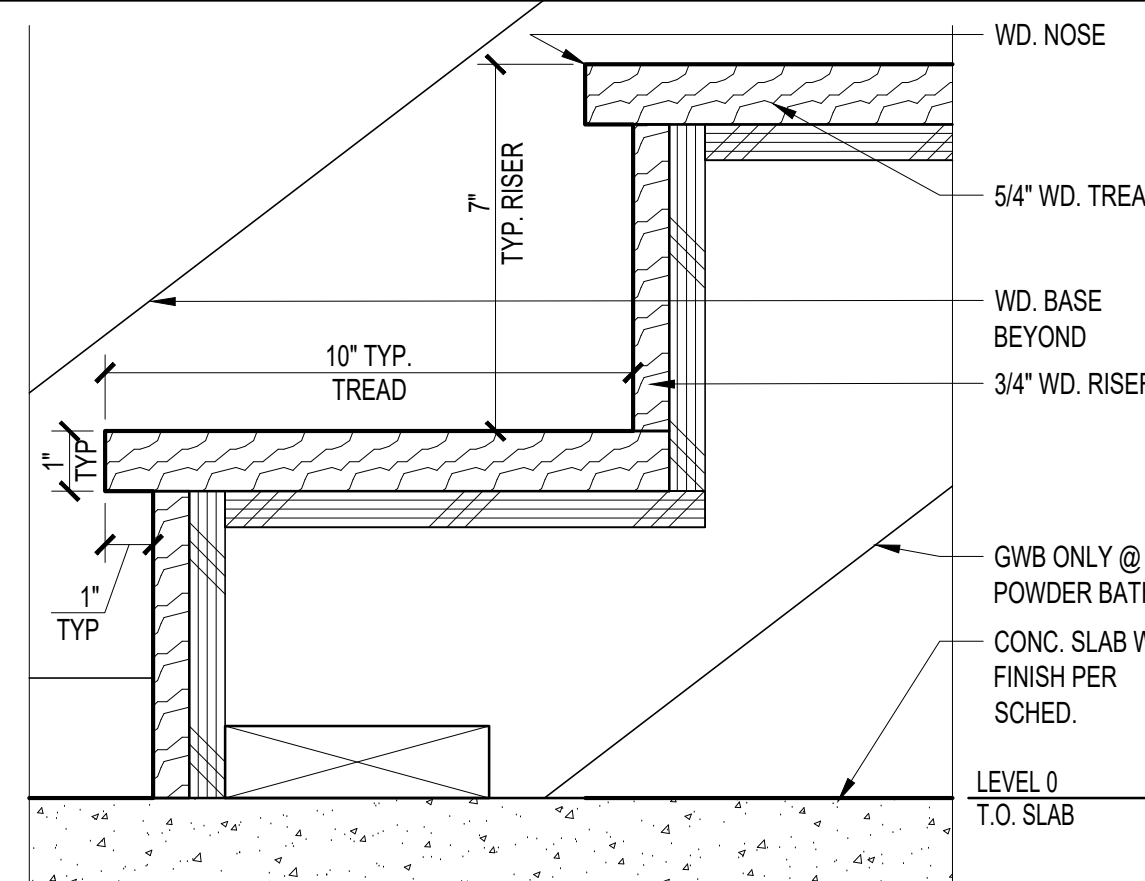
**13 STAIR - CONNECTION @ MAIN LEVEL**  
3/8"=1'-0"



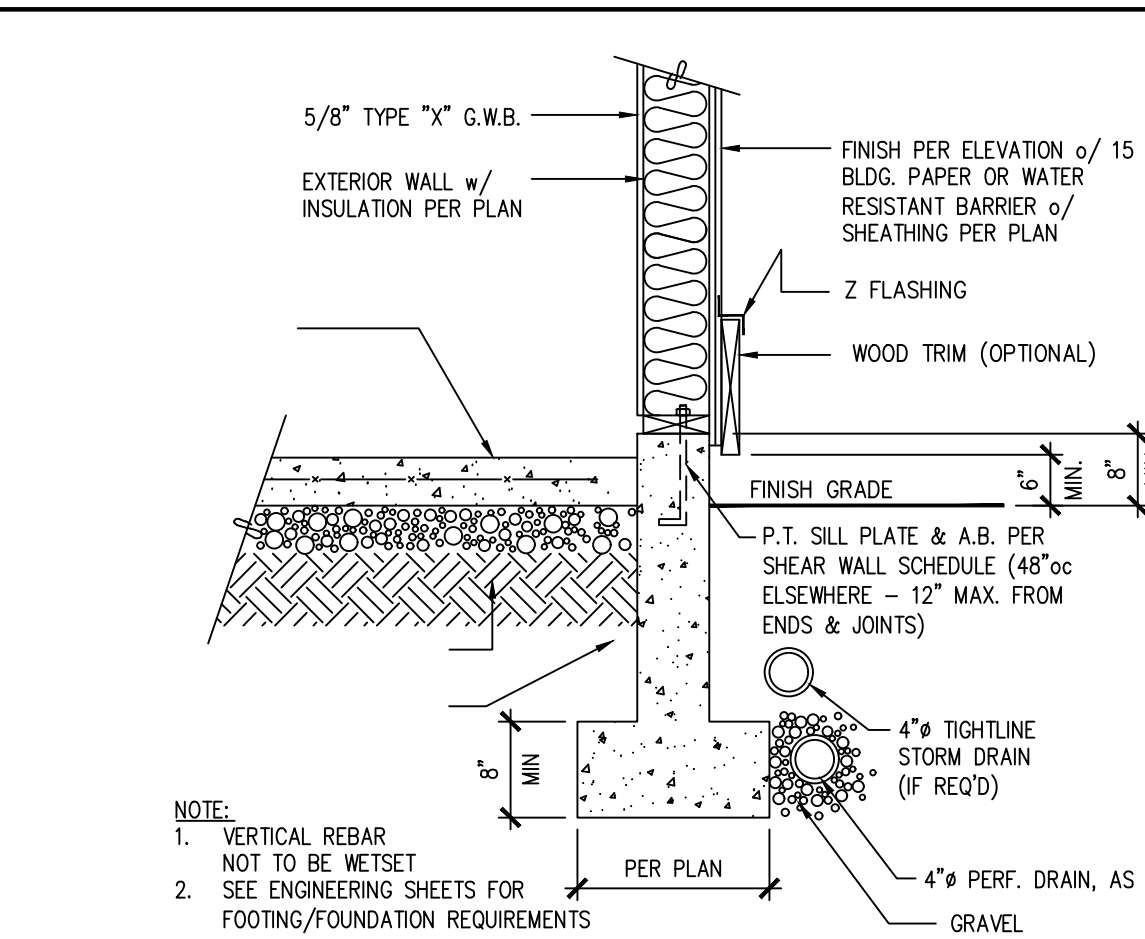
**19 MAIN STAIR OVERALL SECTION**  
1/2"=1'-0"



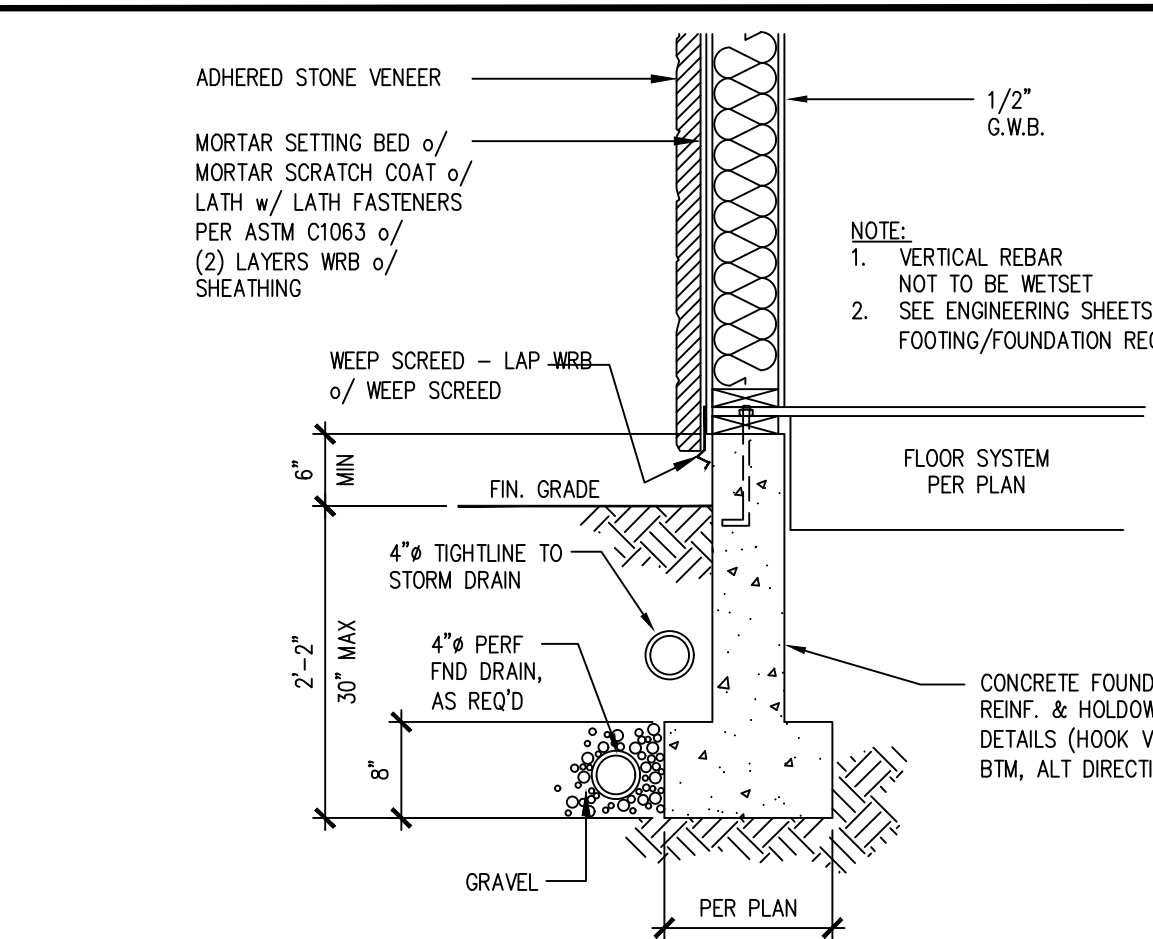
**22 TYPICAL PONY WALL/FOUNDATION**  
3/4"=1'-0"



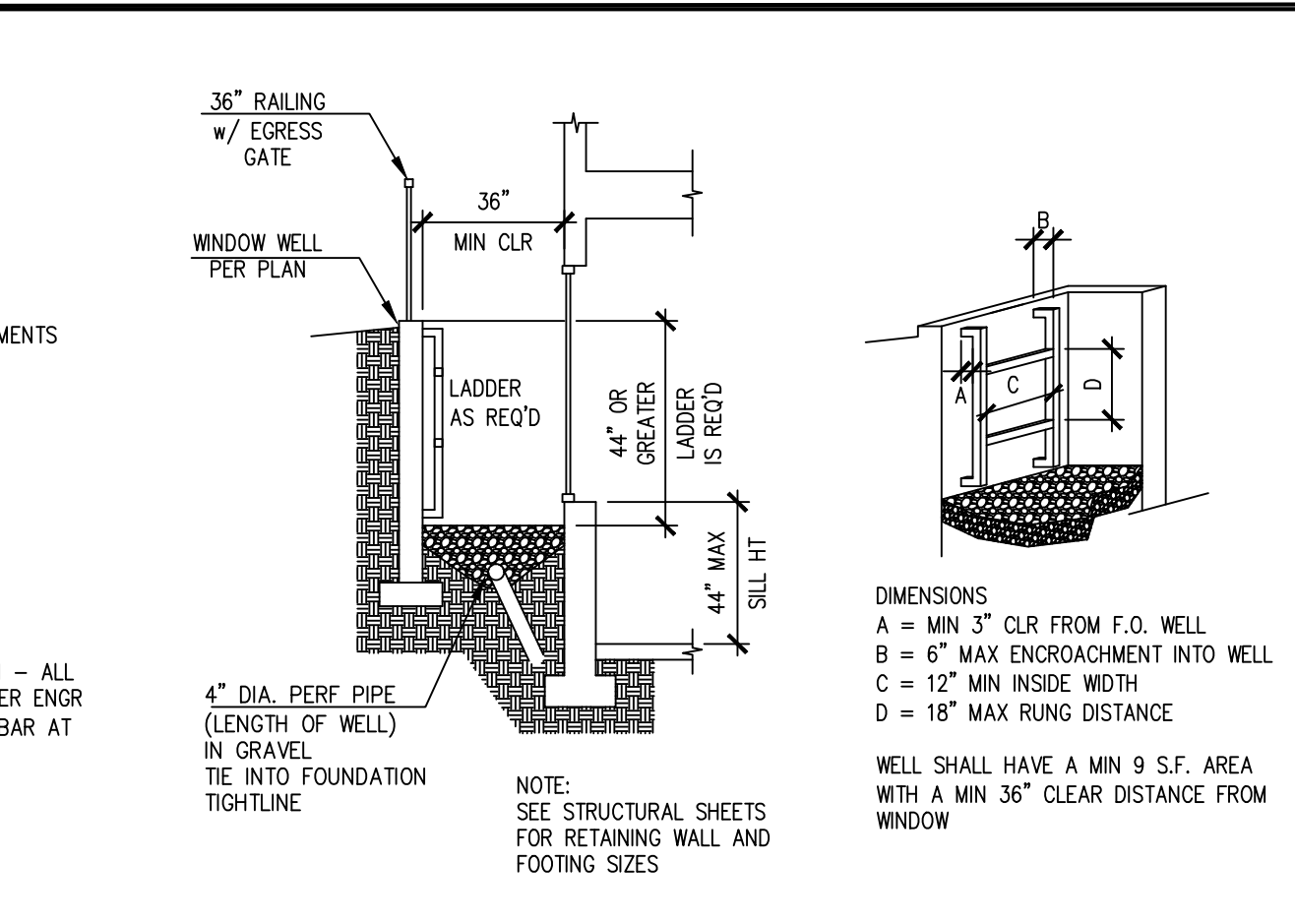
**18 STAIR - CONNECTION @ BASEMENT LEVEL**  
3/8"=1'-0"



**23 TYPICAL GARAGE FOUNDATION**  
3/4"=1'-0"

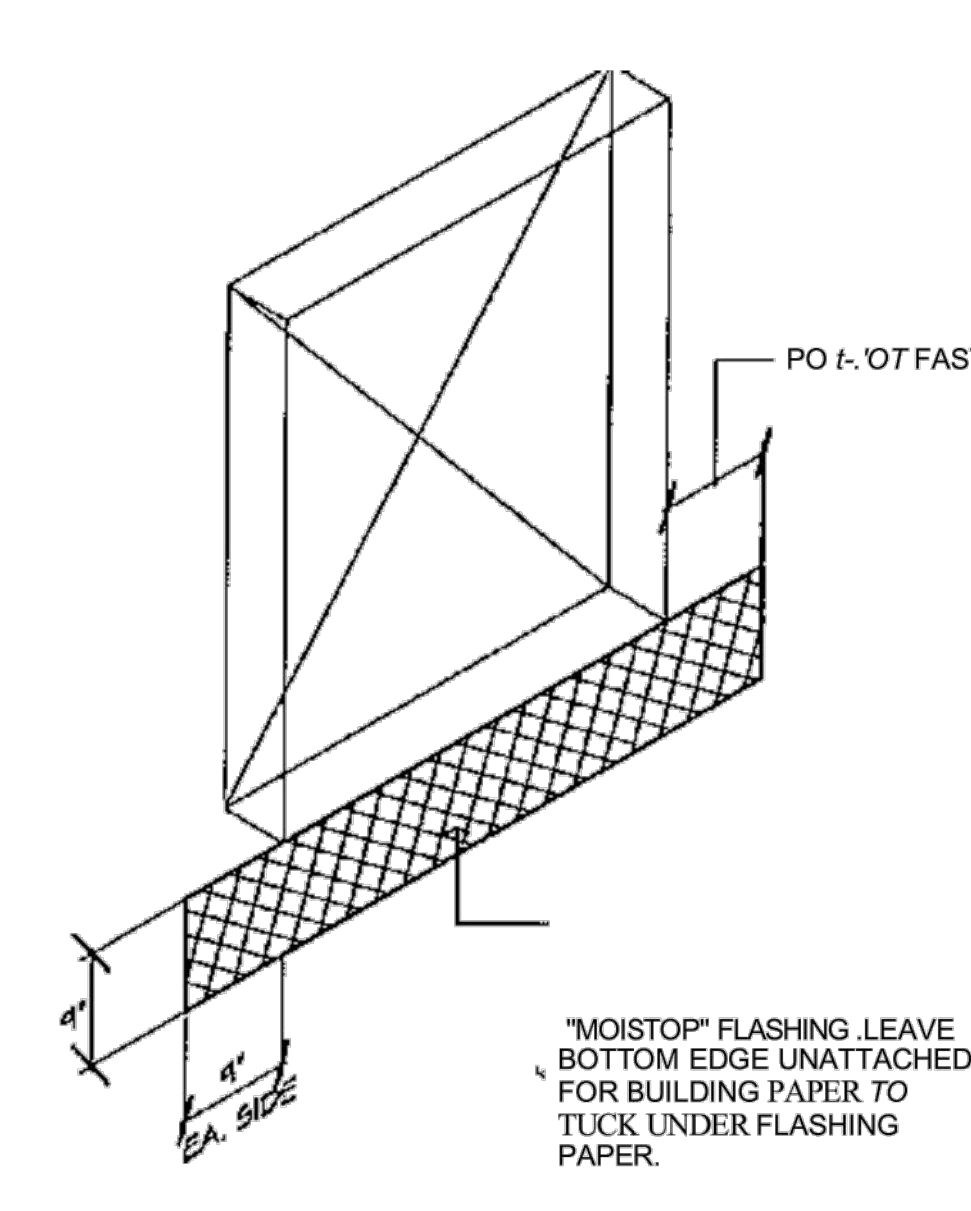


**24 TYPICAL BRICK VENEER DETAIL**  
3/4"=1'-0"

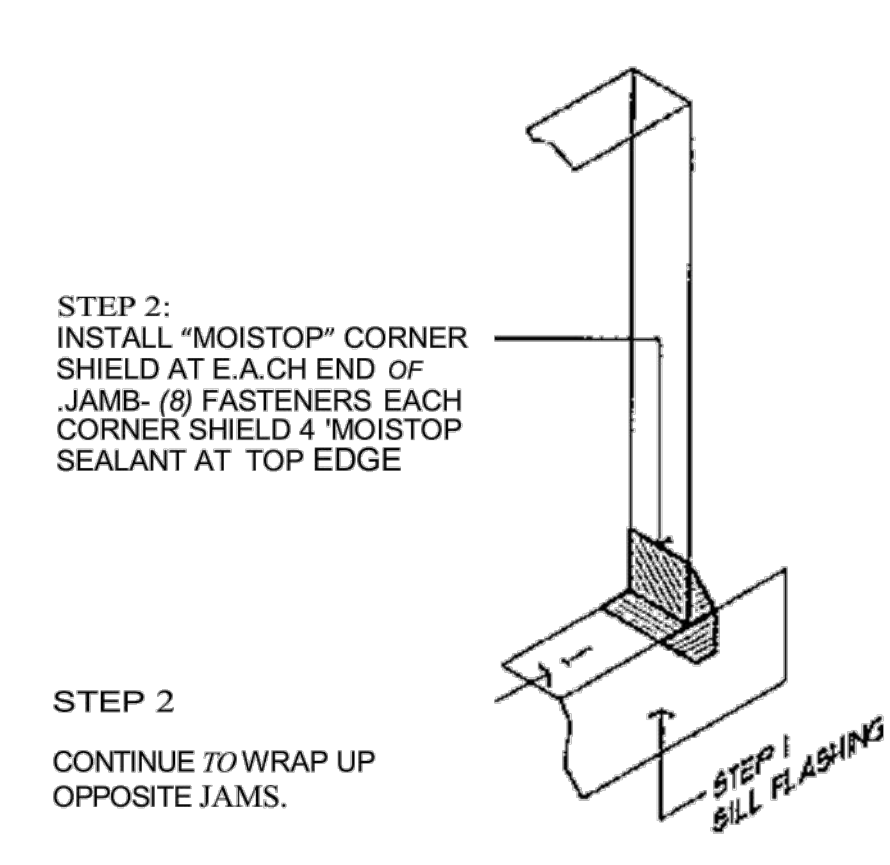


**25 TYPICAL WINDOW WELL DETAIL**  
3/4"=1'-0"

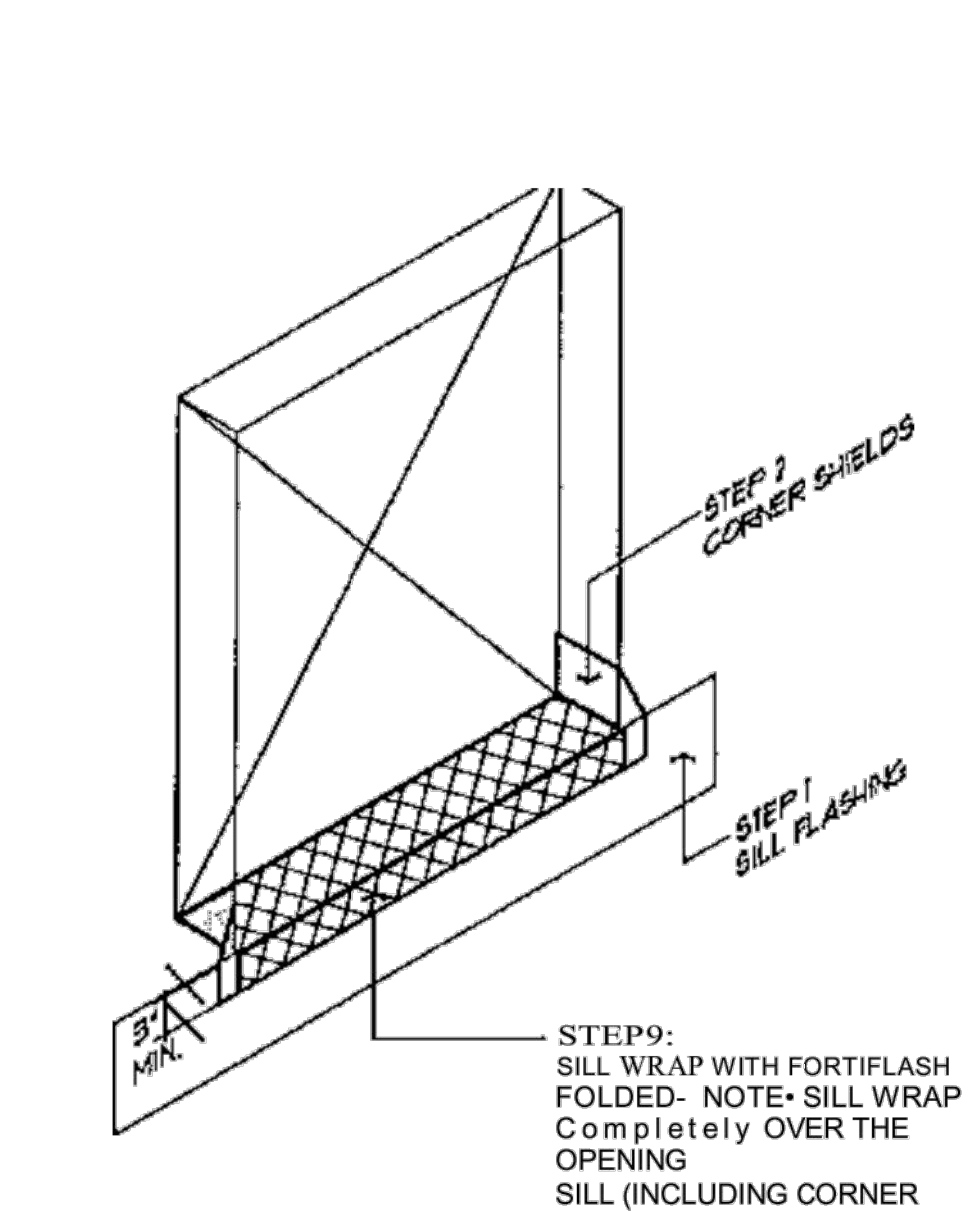




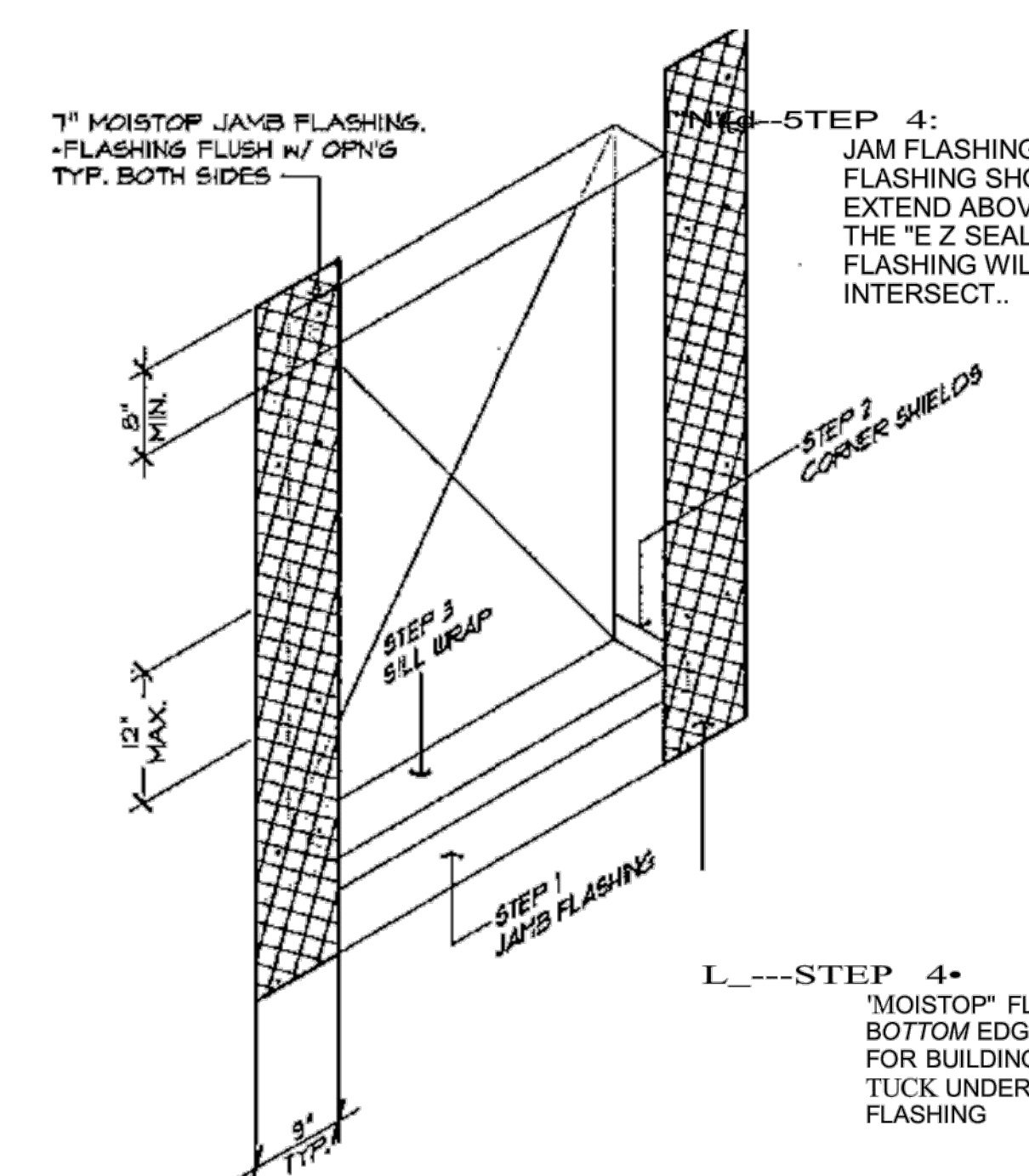
**STEP: 1**  
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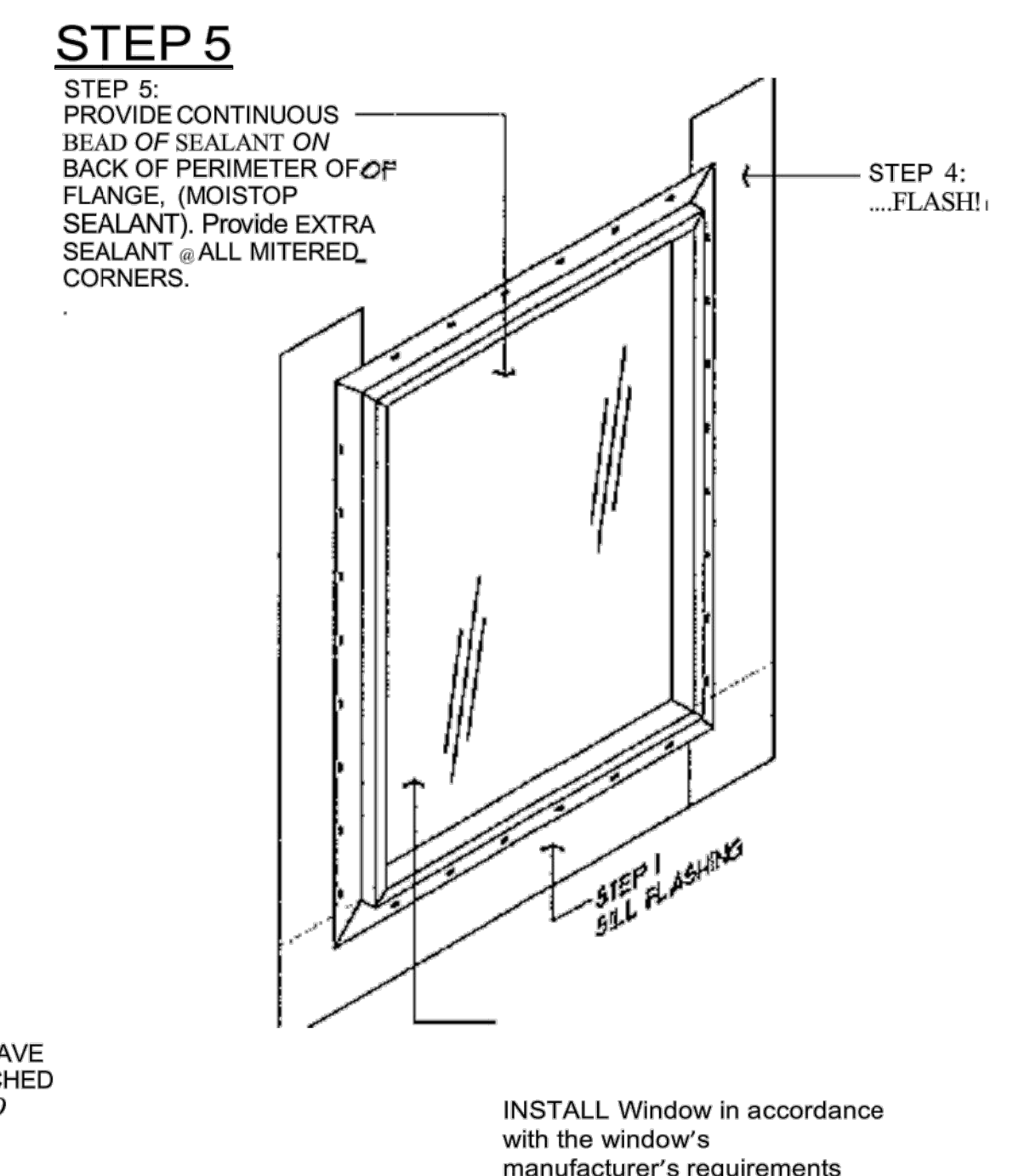
**STEP: 2**  
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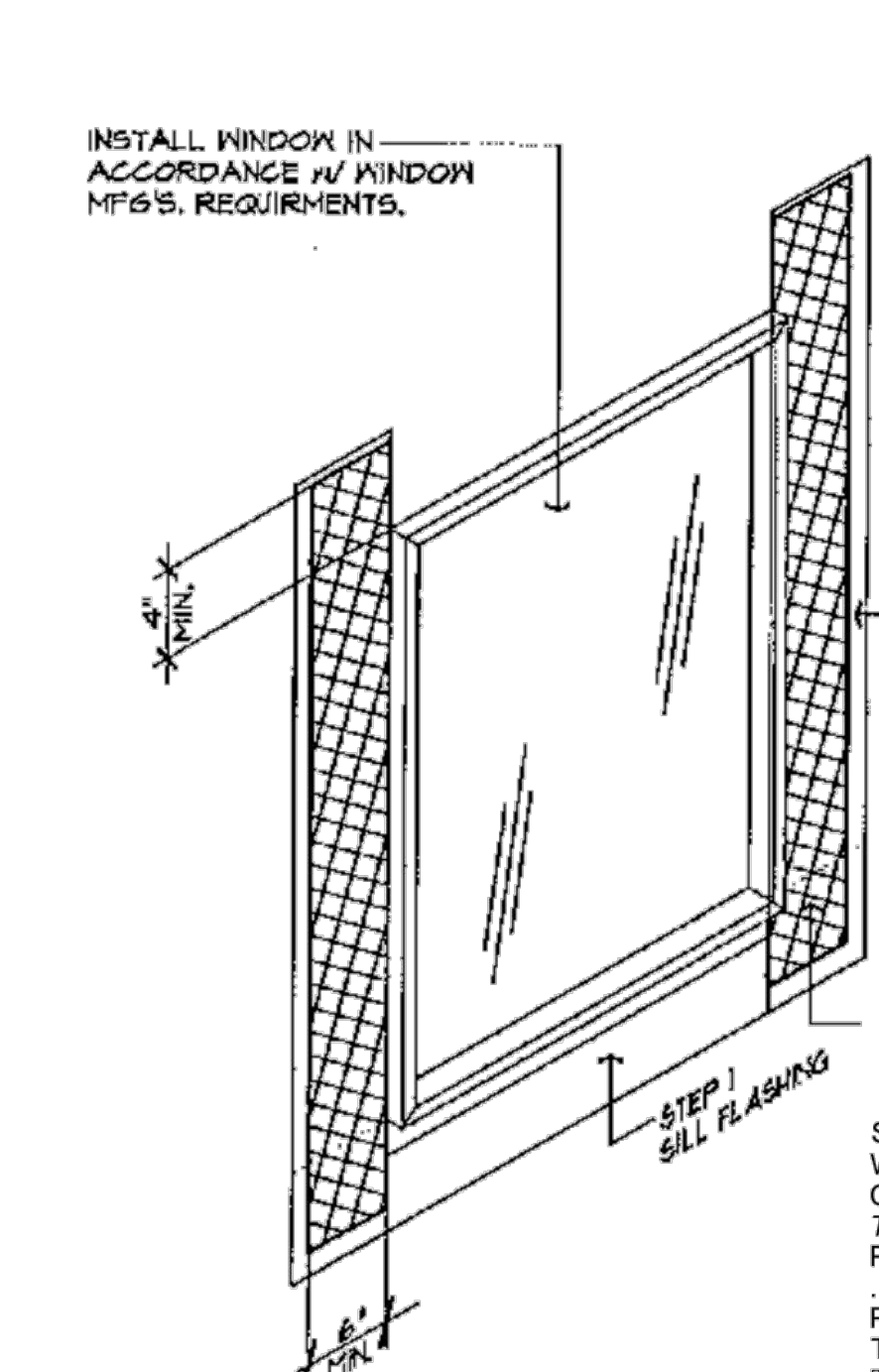
**STEP 3**  
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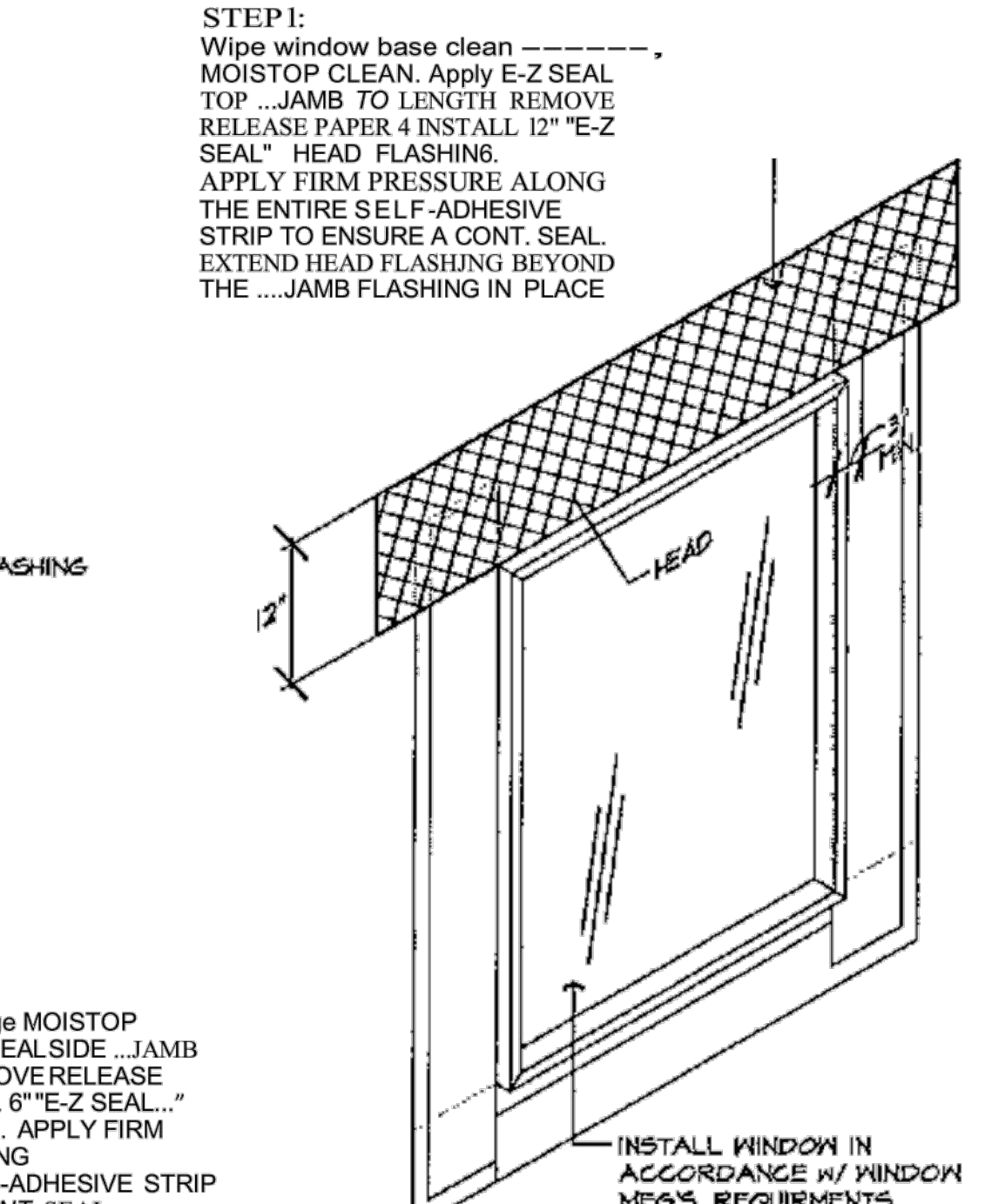
**STEP 4**  
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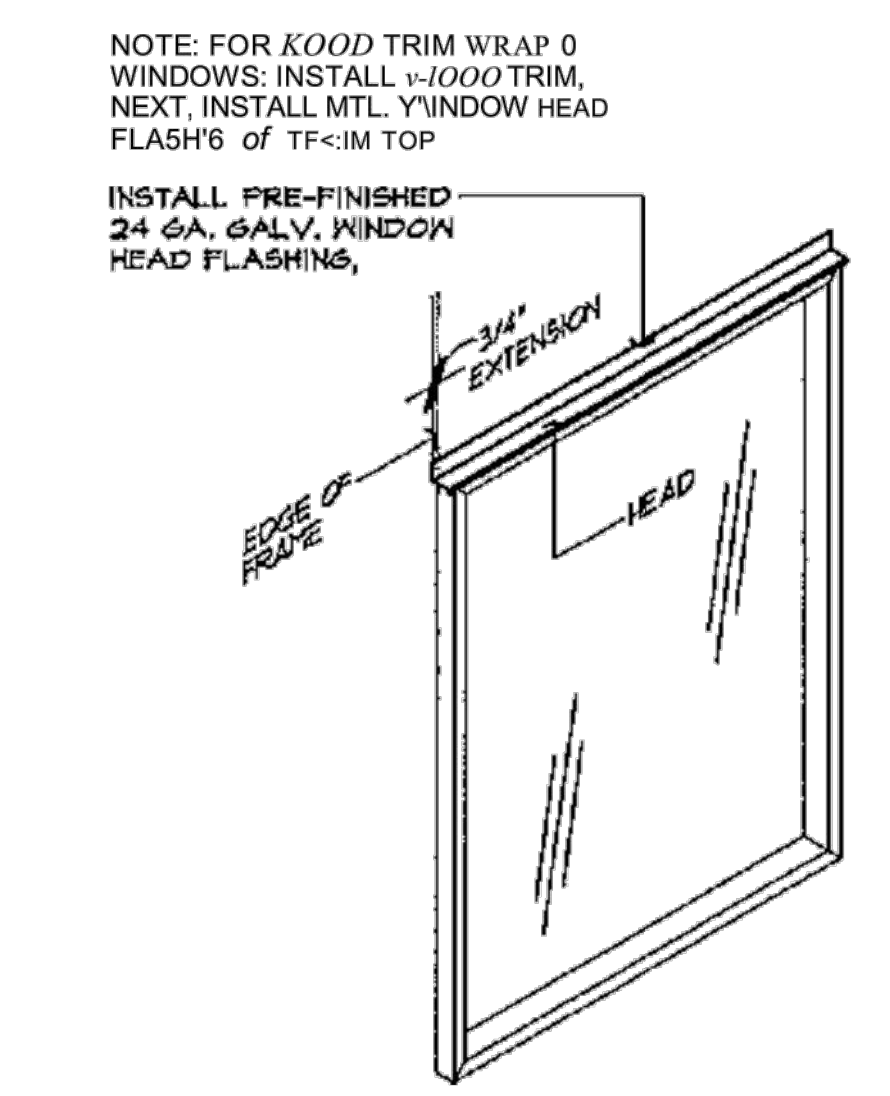
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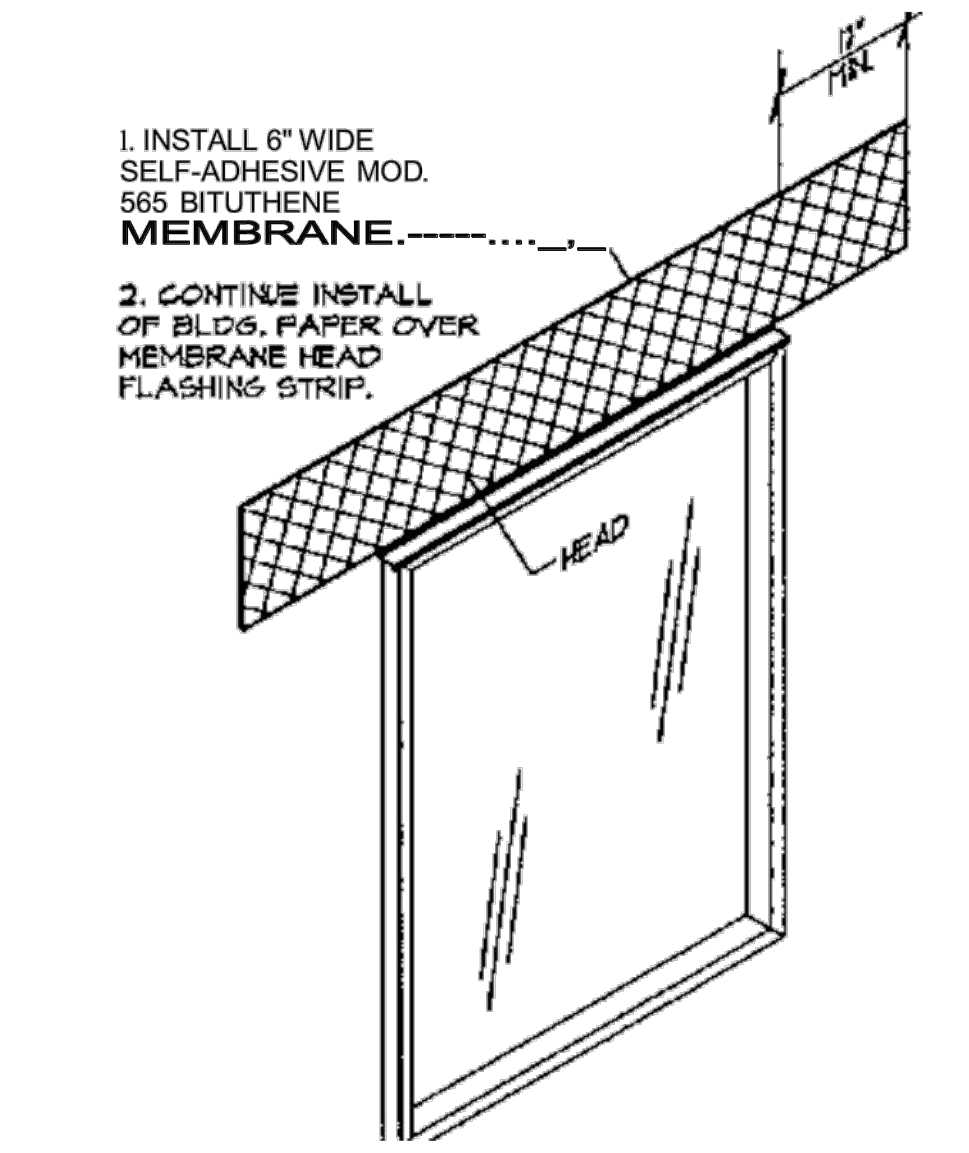
**STEP 6**  
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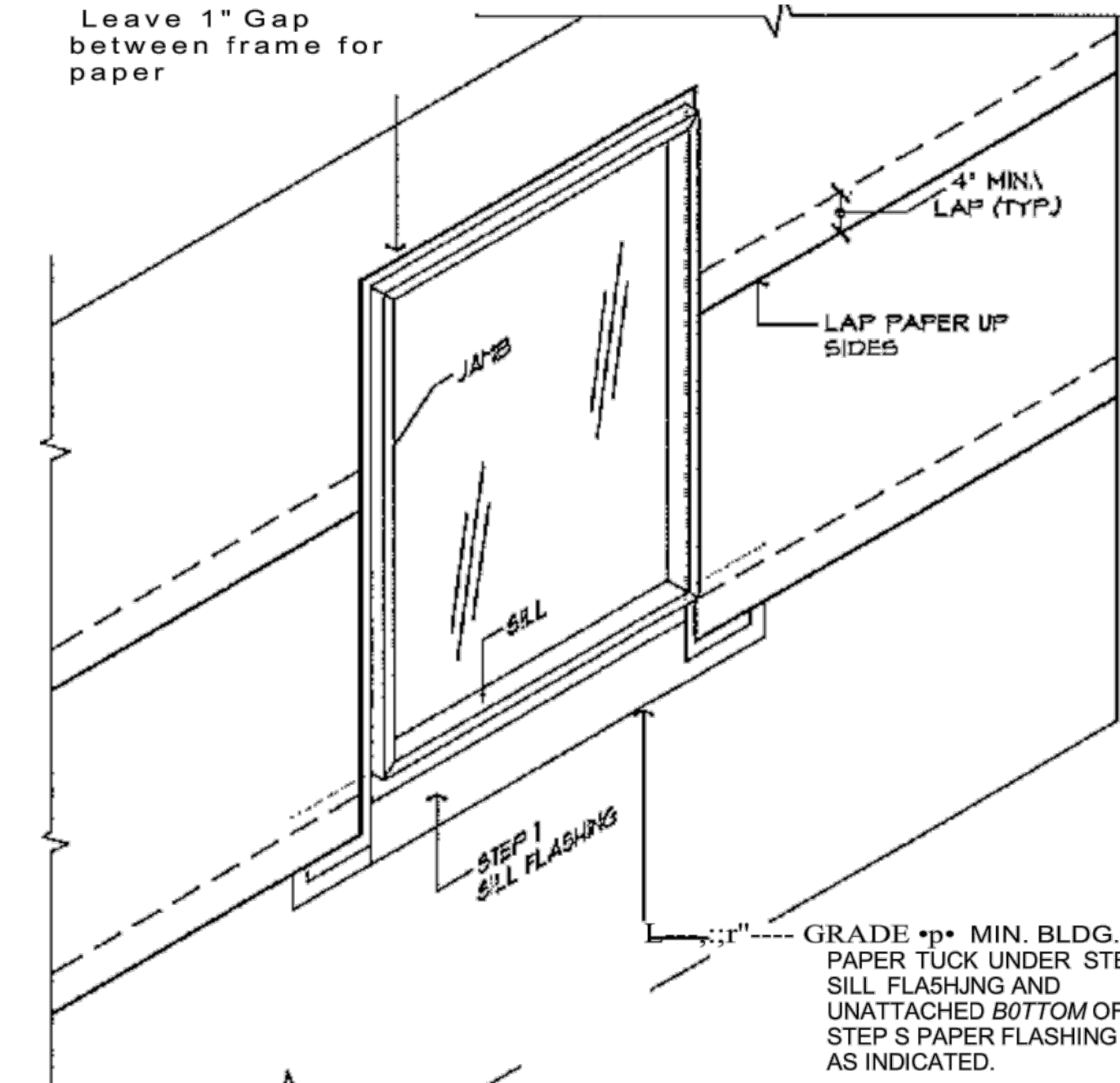
**STEP 7**  
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**STEP 8**  
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**STEP 9**  
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**STEP 10**  
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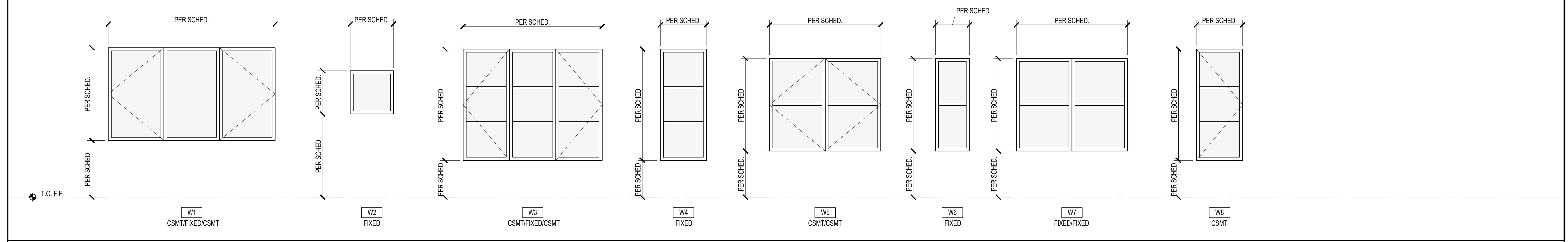


WINDOW SCHEDULE											DOOR SCHEDULE											GENERAL WNDW./DR. NOTES			
MARK	ROOM	SIZE		JAMB WIDTH	SILL HGT.	TYPE	FRAME			REMARKS	MARK	ROOM	SIZE (FIN. OPNG. U.O.N.)			JAMB WIDTH	TYPE	DR.	FRAME	FINISH			HDDR	REMARKS	
		W	H				INT. FIN.	EXT. FIN.	U				E	W	H					THK.	DR. INT.	DR. EXT.			FRM. INT.
1	GYM	(3) 3'-0"	5'-0"	6'-9/16"	3'-0"	W1	MTL. CL.	PT-1	PT-2		001	PWDR. BATH	2'-4"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-1	
2	BALLET	(3) 3'-0"	5'-0"	6'-9/16"	3'-0"	W1	MTL. CL.	PT-1	PT-2		003	MEDIA	3'-0"	8'-0"	11/2"	6'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
3	ENTRY	2'-0"	2'-0"	6'-9/16"	5'-0"	W2	MTL. CL.	PT-1	PT-2	(T)	004	BALLET	(2) 4'-0"	8'-0"	11/2"	6'-9/16"	B	WD.	WD.	-	-	-	-	HW-3	EACH DOOR 2" WIDER THAN OPENING (FOR POCKET)
4	ENTRY	2'-0"	2'-0"	6'-9/16"	5'-0"	W2	MTL. CL.	PT-1	PT-2	(T)	006	CRAFT	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
5	STUDY	(3) 2'-6"	8'-0"	6'-9/16"	2'-6"	W3	MTL. CL.	PT-1	PT-2		007	GYM	2'-6"	8'-0"	11/2"	6'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
6	STUDY	2'-6"	8'-0"	6'-9/16"	2'-6"	W4	MTL. CL.	PT-1	PT-2		100	ENTRY	(2) 3'-0"	8'-0"	2 1/4"	6'-9/16"	C	MTL./GL.	MTL.	PT-1	PT-1	PT-1	PT-1	HW-4	(T)
7	LAUNDRY	2'-0"	2'-0"	6'-9/16"	5'-0"	W2	MTL. CL.	PT-1	PT-2	(T)	101	PWDR. MAIN	2'-0"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-1	
8	GUEST BATH	2'-0"	2'-0"	6'-9/16"	5'-0"	W2	MTL. CL.	PT-1	PT-2	(T)	102	STUDY CLST.	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-5	
9	GUEST BED	(2) 3'-0"	4'-4"	6'-9/16"	3'-8"	W5	MTL. CL.	PT-1	PT-2		103	STUDY	2'-6"	8'-0"	11/2"	6'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
10	GUEST BED	(3) 2'-6"	8'-0"	6'-9/16"	2'-6"	W3	MTL. CL.	PT-1	PT-2		104	LAUNDRY	2'-0"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
11	DINING	1'-10"	4'-4"	6'-9/16"	3'-8"	W6	MTL. CL.	PT-1	PT-2	(T)	105	GUEST CLST.	2'-0"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
12	DINING	1'-10"	4'-4"	6'-9/16"	3'-8"	W6	MTL. CL.	PT-1	PT-2	(T)	106	GUEST BATH	2'-0"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-1	
13	KITCHEN	(3) 2'-6"	5'-0"	6'-9/16"	3'-5"	W3	MTL. CL.	PT-1	PT-2		107A	GUEST BED	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
14	PANTRY	2'-6"	5'-5"	6'-9/16"	3'-5"	W4	MTL. CL.	PT-1	PT-2		107B	GUEST BED	2'-6"	8'-0"	2 1/4"	6'-9/16"	D	MTL. CL./GL.	MTL. CL.	PT-1	PT-1	PT-1	PT-1	HW-6	(T)
15	PREP	2'-6"	5'-5"	6'-9/16"	3'-5"	W4	MTL. CL.	PT-1	PT-2		108	DINING	(2) 2'-6"	8'-0"	2 1/4"	6'-9/16"	C	MTL. CL./GL.	MTL. CL.	PT-1	PT-1	PT-1	PT-1	HW-4	(T)
16	GARAGE	2'-6"	8'-0"	6'-9/16"	2'-0"	W4	MTL. CL.	PT-1	PT-2		109A	LIVING	(5) 3'-0"	8'-0"	2 1/4"	6'-9/16"	E	AL./GL.	AL.	-	-	-	-	HW-7	(T)
17	GARAGE	2'-6"	8'-0"	6'-9/16"	2'-0"	W4	MTL. CL.	PT-1	PT-2		109B	LIVING	(4) 3'-0"	8'-0"	2 1/4"	6'-9/16"	E	AL./GL.	AL.	-	-	-	-	HW-7	(T)
18	GARAGE	2'-6"	8'-0"	6'-9/16"	2'-0"	W4	MTL. CL.	PT-1	PT-2		110A	KITCHEN	2'-6"	8'-0"	11/2"	6'-9/16"	F	WD.	WD.	-	-	-	-	HW-8	DOOR 2" WIDER THAN OPENING (FOR POCKET)
19	UPPER HALL	2'-0"	4'-0"	6'-9/16"	2'-3"	W6	MTL. CL.	PT-1	PT-2		110B	KITCHEN	2'-6"	8'-0"	11/2"	6'-9/16"	F	WD.	WD.	-	-	-	-	HW-8	DOOR 2" WIDER THAN OPENING (FOR POCKET)
20	UPPER HALL	(2) 2'-6"	4'-0"	6'-9/16"	2'-3"	W7	MTL. CL.	PT-1	PT-2		112A	PANTRY	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
21	UPPER HALL	2'-0"	4'-0"	6'-9/16"	2'-3"	W6	MTL. CL.	PT-1	PT-2		112B	PANTRY	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
22	BEDRM. 1	2'-6"	8'-0"	6'-9/16"	3'-0"	W4	MTL. CL.	PT-1	PT-2		113	BREEZEWAY	2'-6"	8'-0"	11/2"	6'-9/16"	G	WD.	WD.	-	-	-	-	HW-8	20-MIN. RATED
23	BEDRM. 1	2'-6"	8'-0"	6'-9/16"	3'-0"	W8	MTL. CL.	PT-1	PT-2	(E)	114A	GARAGE	9'-3"	9'-0"	2"	6'-9/16"	H	AL./GL.	AL.	PT-5	PT-5	PT-5	PT-5	HW-10	(T)
24	BATH 1	2'-0"	2'-0"	6'-9/16"	5'-0"	W2	MTL. CL.	PT-1	PT-2	(T)	114B	GARAGE	16'-3"	9'-0"	2"	6'-9/16"	H	AL./GL.	AL.	PT-5	PT-5	PT-5	PT-5	HW-10	(T)
25	BATH 2	2'-0"	2'-0"	6'-9/16"	5'-0"	W2	MTL. CL.	PT-1	PT-2	(T)	114C	GARAGE	2'-6"	8'-0"	2 1/4"	6'-9/16"	D	MTL. CL./GL.	MTL. CL.	PT-1	PT-1	PT-1	PT-1	HW-9	(T)
26	BEDRM. 2	(2) 3'-0"	4'-4"	6'-9/16"	3'-8"	W5	MTL. CL.	PT-1	PT-2	(E)	201	CLOSET 1	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
27	BEDRM. 2			6'-9/16"			MTL. CL.	PT-1	PT-2		202	BEDRM. 1	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
28	UPPER HALL	1'-10"	4'-0"	6'-9/16"	2'-3"	W6	MTL. CL.	PT-1	PT-2		203	BATH 1	2'-0"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-1	
29	UPPER HALL	(2) 2'-6"	4'-0"	6'-9/16"	2'-3"	W7	MTL. CL.	PT-1	PT-2		204	UTILITY	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
30	UPPER HALL	1'-10"	4'-0"	6'-9/16"	2'-3"	W6	MTL. CL.	PT-1	PT-2		205	CLOSET 2	2'-0"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
31	MSTR. CLST.	(2) 3'-0"	4'-6"	6'-9/16"	4'-0"	W7	MTL. CL.	PT-1	PT-2		206	BATH 2	2'-0"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-1	
32	MSTR. BATH	2'-6"	2'-6"	6'-9/16"	4'-6"	W2	MTL. CL.	PT-1	PT-2		207	BEDRM. 2	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
33	MSTR. BATH	2'-6"	2'-6"	6'-9/16"	4'-6"	W2	MTL. CL.	PT-1	PT-2		208A	MSTR. BD.	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
34	MSTR. BATH	(2) 3'-0"	4'-6"	6'-9/16"	4'-0"	W7	MTL. CL.	PT-1	PT-2	(T)	208B	MSTR. BD.	(4) 3'-0"	8'-0"	2 1/4"	6'-9/16"	E	AL./GL.	AL.	-	-	-	-	HW-7	(T)
35	BATH 3	2'-6"	2'-0"	6'-9/16"	4'-6"	W2	MTL. CL.	PT-1	PT-2	(T)	209	MSTR. CLST.	2'-6"	8'-0"	11/2"	6'-9/16"	A	WD.	WD.	-	-	-	-	HW-11	
36	BEDRM. 3			6'-9/16"			MTL. CL.	PT-1	PT-2	(E)	210A	MSTR. BATH	2'-6"	8'-0"	11/2"	6'-9/16"	A	WD.	WD.	-	-	-	-	HW-1	
37	BREEZEWAY	(3) 1'-10"	5'-0"	6'-9/16"	3'-0"	W3	MTL. CL.	PT-1	PT-2		210B	MSTR. BATH	2'-4"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-1	
											211	CLOSET 3	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	
											212	BATH 3	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-1	
											213	BEDRM. 3	2'-6"	8'-0"	11/2"	4'-9/16"	A	WD.	WD.	-	-	-	-	HW-2	

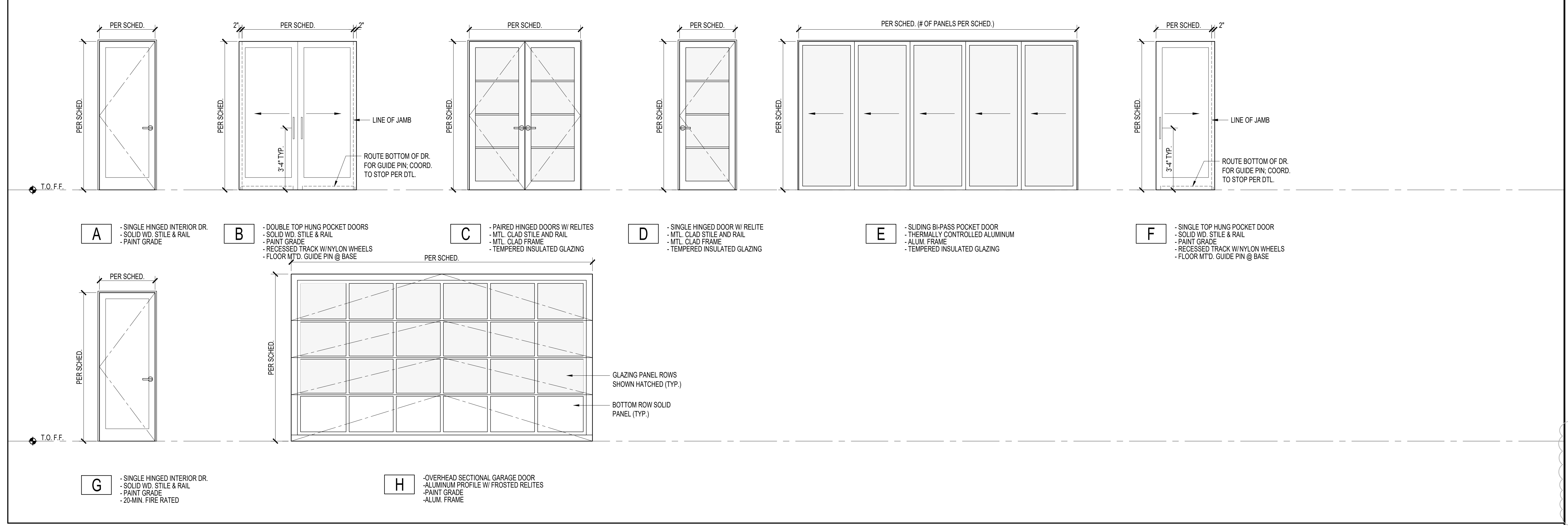
- REFER TO SCHEDULE FOR JAMB THICKNESS.
- VERIFY CASEMENT SWING DIRECTION & SLIDING POCKET DOOR OPERATION W/ EXTERIOR ELEVATIONS/PLANS.
- (T) INDICATES TEMPERED GLASS.
- (E) INDICATES EGRESS WINDOW.
- VERTICAL GLAZING & EXTERIOR SWING DOORS: ALL UNITS TO BE MILGARD TRINISC SERIES, PAINT GRADE PRIMED INTERIOR / METAL CLAD EXTERIOR. LOW-E 366 DUAL GLAZING TO ACHIEVE 0.28 U-FACTOR OR BETTER.
- POCKET SLIDING DOORS: ALL UNITS TO BE MILGARD AX550 MULTI-SLIDE, LOW-E 366 DUAL GLAZING TO ACHIEVE 0.28 U-FACTOR OR BETTER.
- EGRESS WINDOWS TO CONFORM TO THE FOLLOWING:  
- 44" MAX. HT. FROM F.F. TO SILL  
- 5.7 S.F. NET CLEAR OPENING  
- 24" CLR. MIN. HT.  
- 20" CLR. MIN. WIDTH
- ALL INTERIOR DOORS & FRAMES TO BE PT-4, U.N.O.

- ### WNDW./DR. FINISH NOTES
- MTL. CL. METAL CLAD PER MANUF.
  - GL. GLAZING (SEE NOTES ABV. FOR SPEC)
  - AL. EXTRUDED ALUMINUM PER MANUF.
  - WD. SOLID WD. DR. & FRAMES PER DR. MANUF.
  - PT-1 TBD (COLOR FOR WNDW. & DR. MANUF. PRIMED INTERIOR)
  - PT-2 TBD (MANUF. APPLIED COLOR FOR METAL CLAD)
  - PT-3 TBD (MANUF. APPLIED COLOR FOR ALUMINUM)
  - PT-4 TBD (COLOR FOR INTERIOR DOORS & FRAMES)
  - PT-5 TBD (MANUF. APPLIED COLOR FOR ALUMINUM)

### WINDOW TYPES



### DOOR TYPES



JEUNESSE ARCHITECTS  
 7811 GREENWOOD AVE. N. #4110 SEATTLE, WA 98103  
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The Granbois Residence  
 8440 SE 80th Street  
 MERCER ISLAND, WA 98040  
 JA PROJECT NUMBER: 202314

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11224 REGISTERED ARCHITECT  
 HEATHER POGUE  
 STATE OF WASHINGTON

REVISION . . . . . DATE  
 1 . . . . . PERMIT REVISION . 04/29/24

PERMIT SET  
 04/07/2023

DOOR / WNDW SCHEDULES  
**A7.2**









































LONGITUDE  
ONE TWENTY  
ENGINEERING & DESIGN

REVISIONS		
DESCRIPTION	DATE	BY
Δ BDC RESPONSE	04/19/24	

PROJECT NAME  
GRANBOIS RESIDENCE  
8440 SE 82ND ST,  
MERCER ISLAND

PROJECT NUMBER  
S230110-1

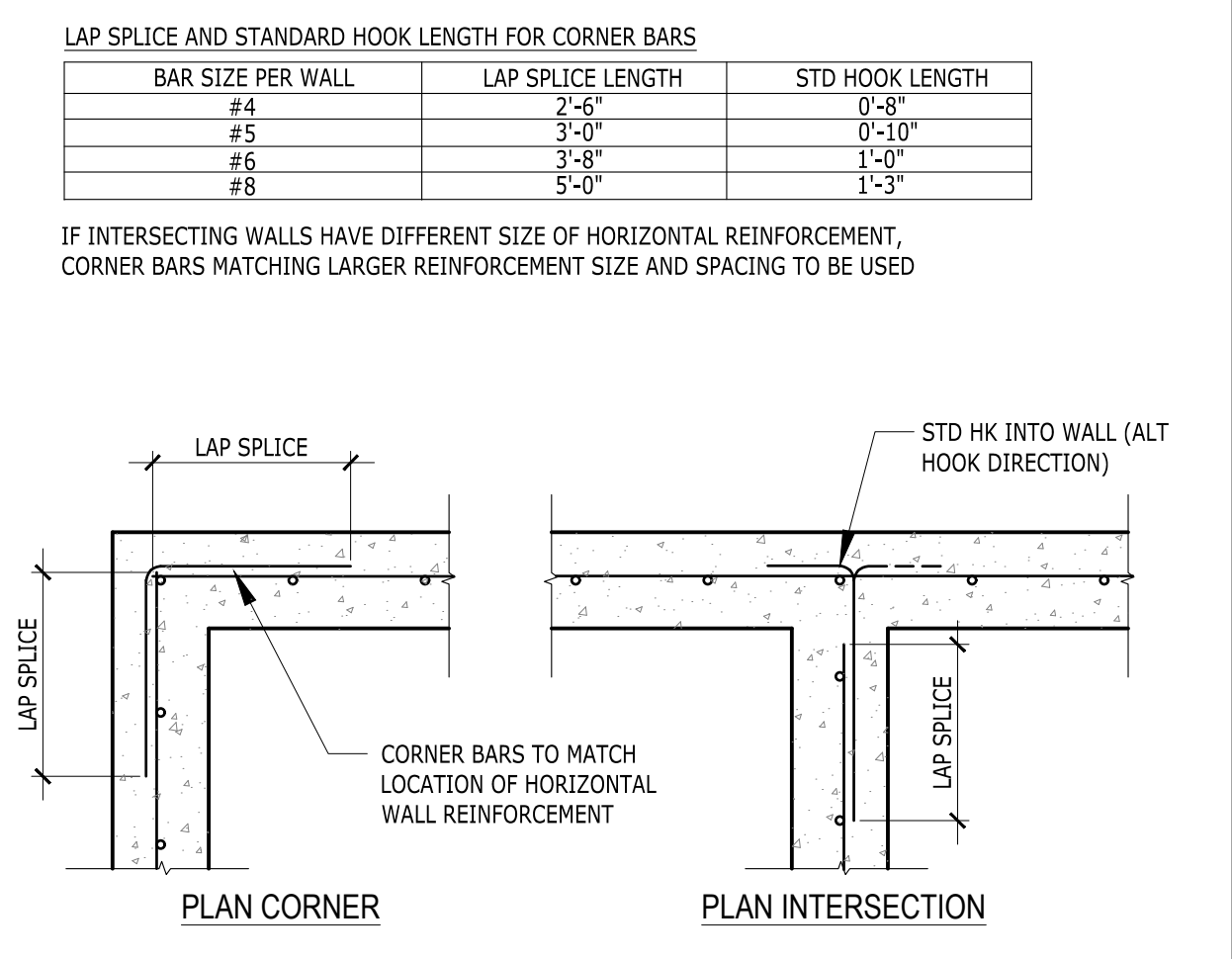
DRAWN BY - MR

CHECKED BY - MRT

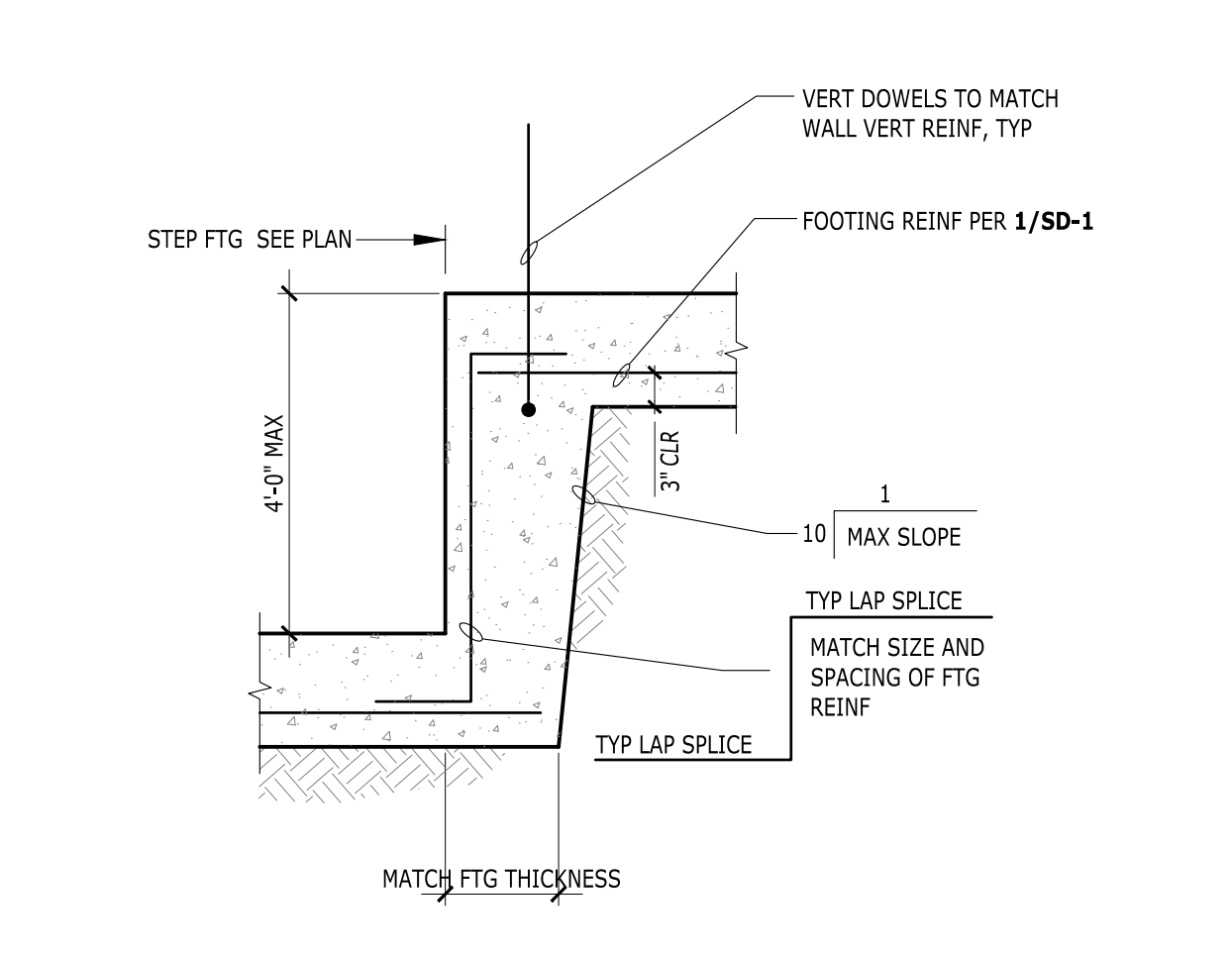
SHEET DATE - 04/19/2024

SCALE  
24X36 SHEET: 1/4" = 1'-0"

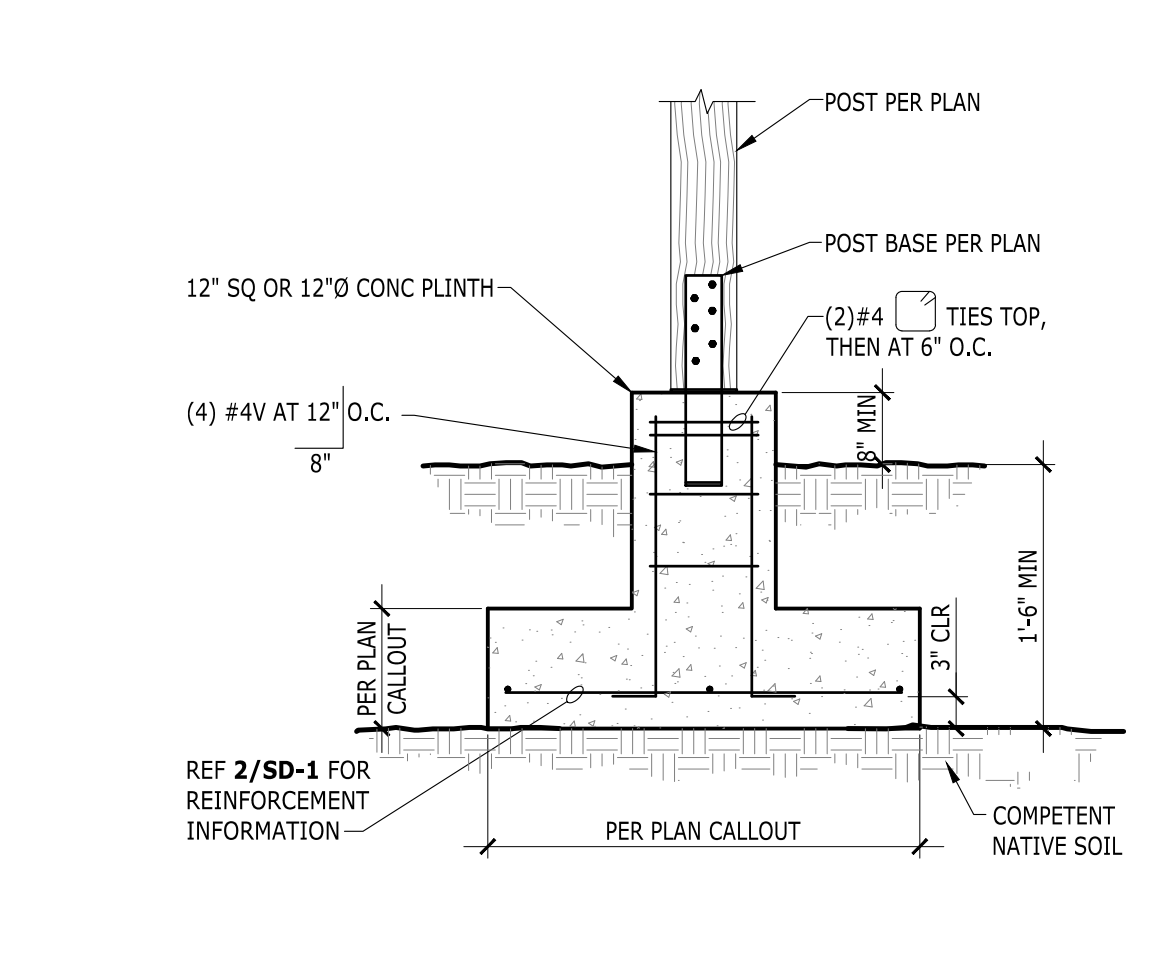
STRUCTURAL DETAILS  
SHEET SD-1



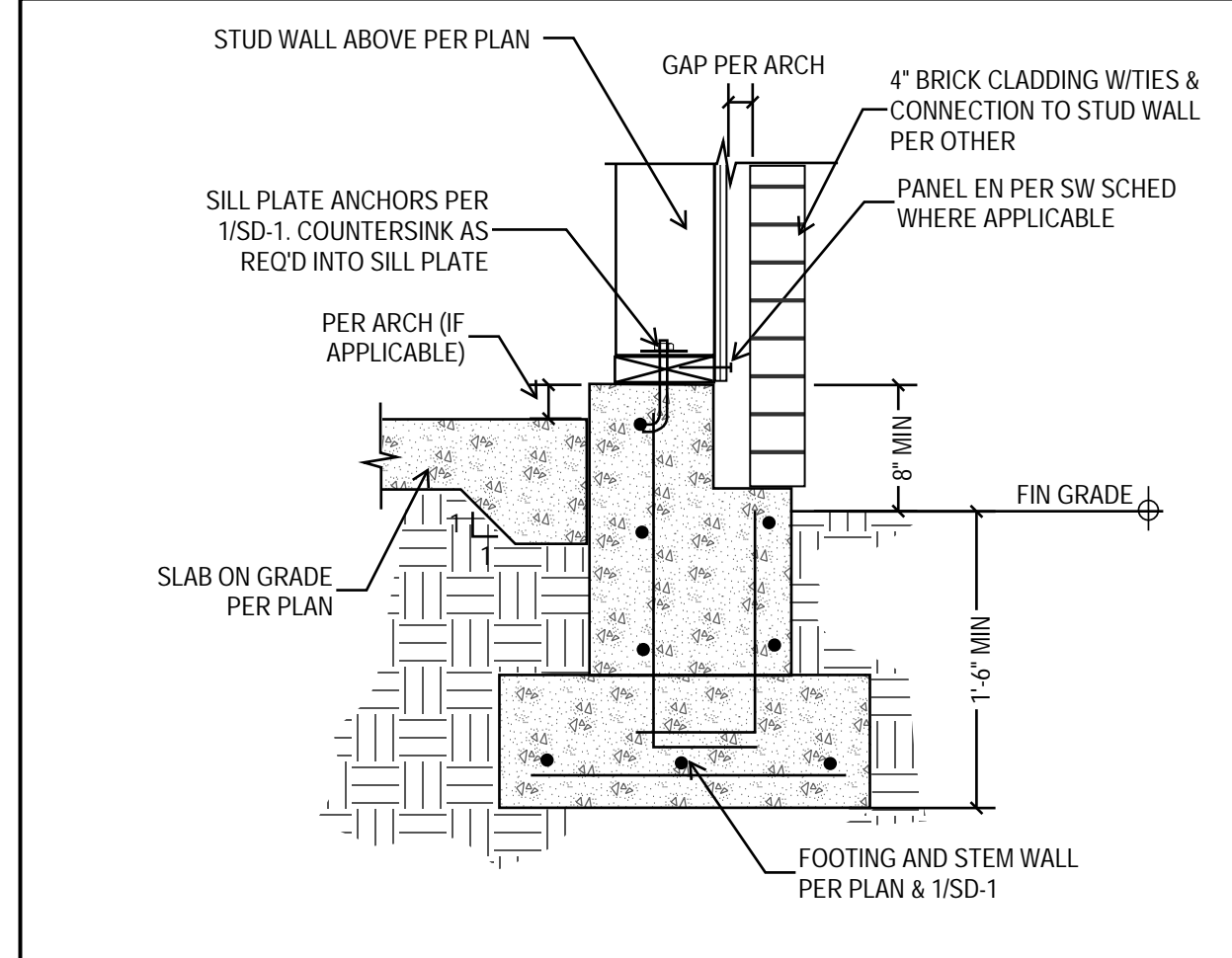
5 CORNER BARS AT CONCRETE WALLS



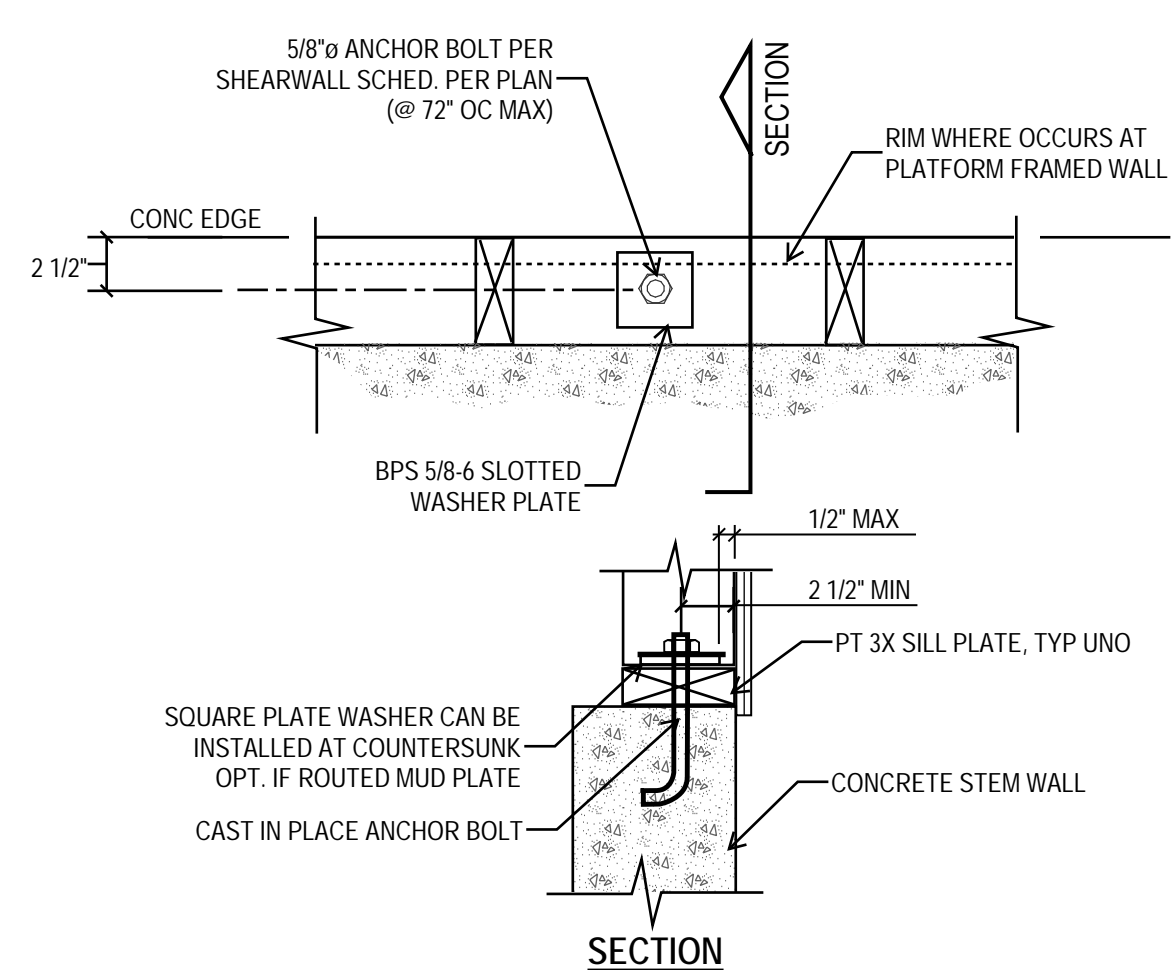
4 STEP AT WALL FOOTING



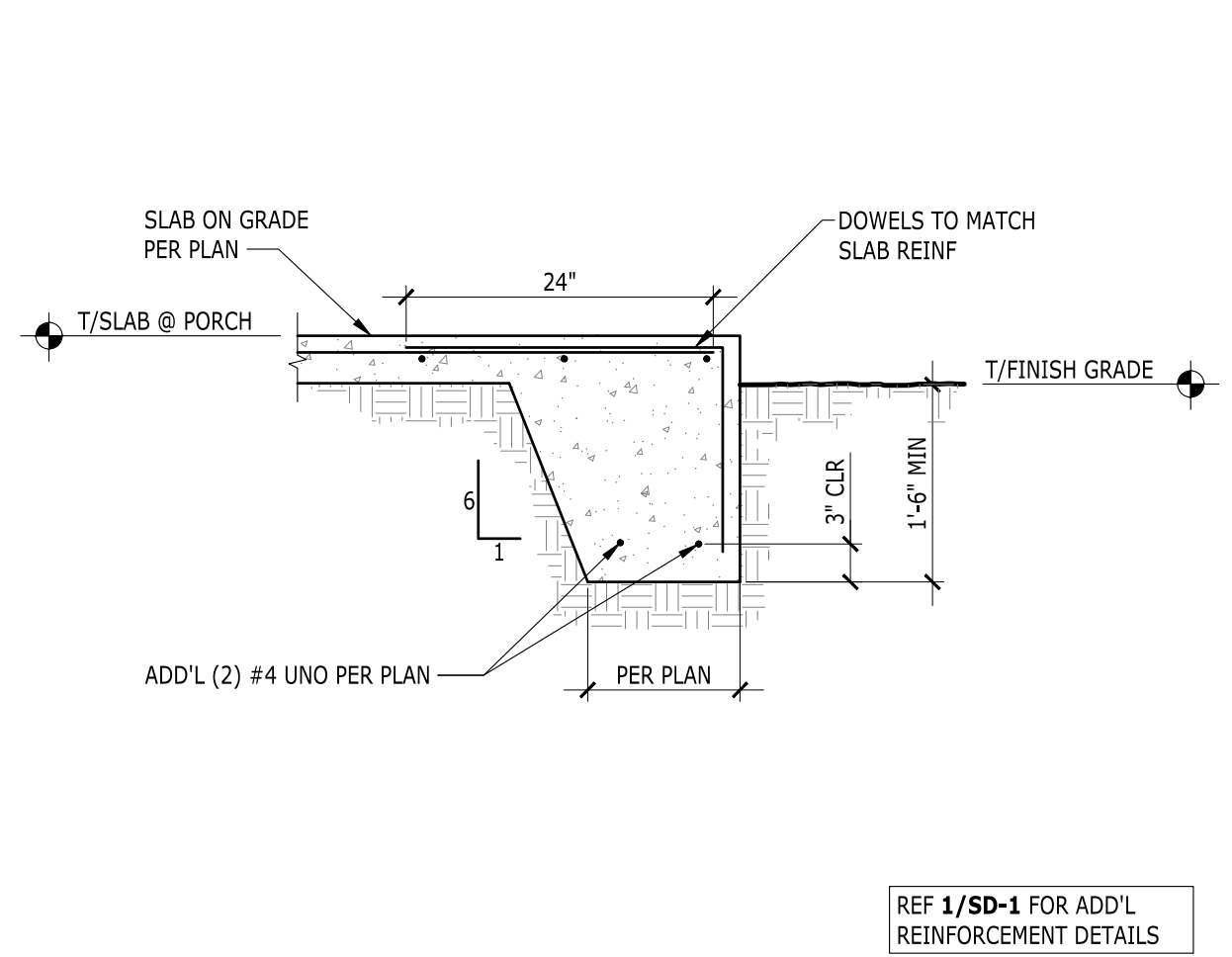
3 ISOLATED EXTERIOR FOOTING



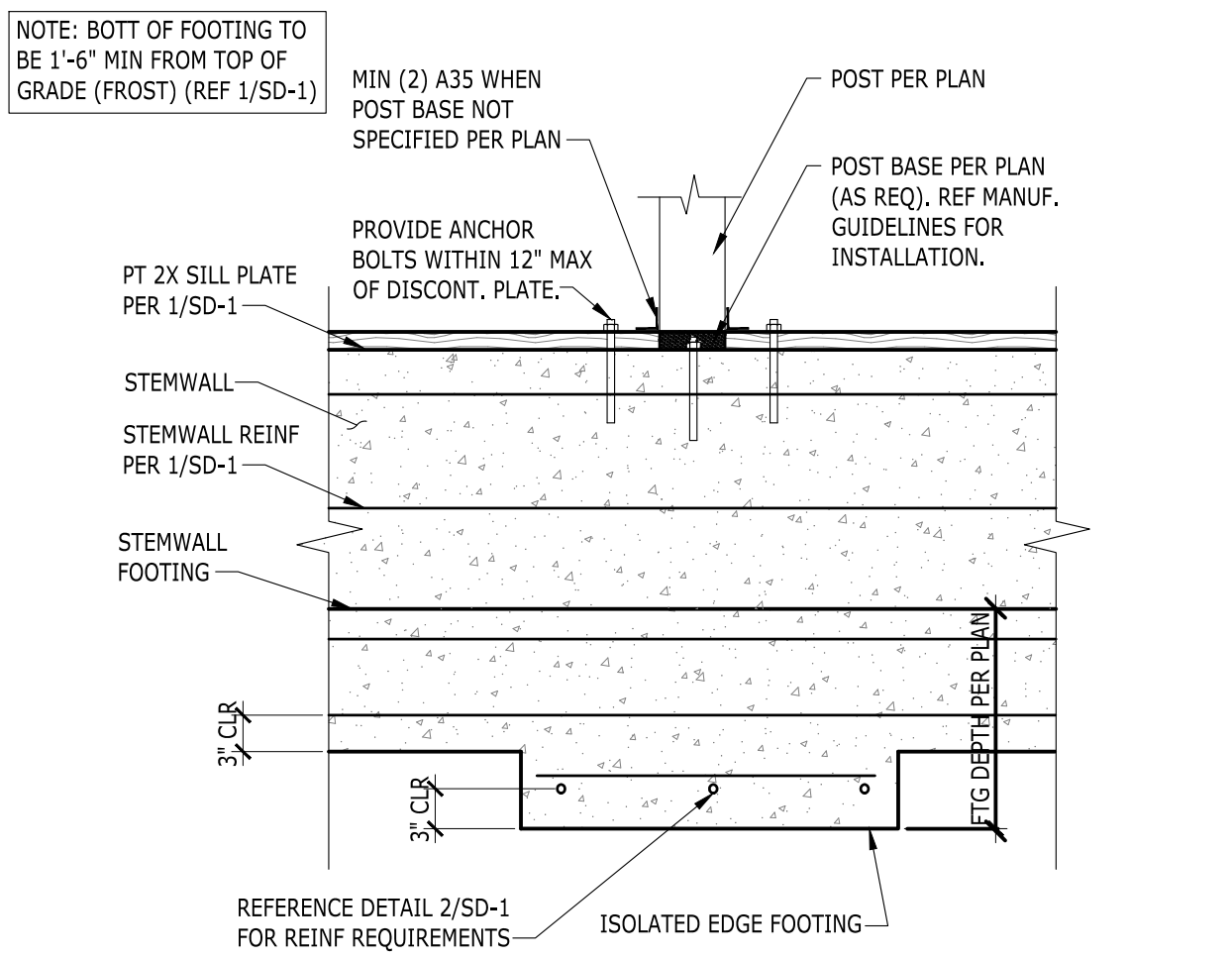
2 STEM WALL W/BRICK - SLAB ON GRADE



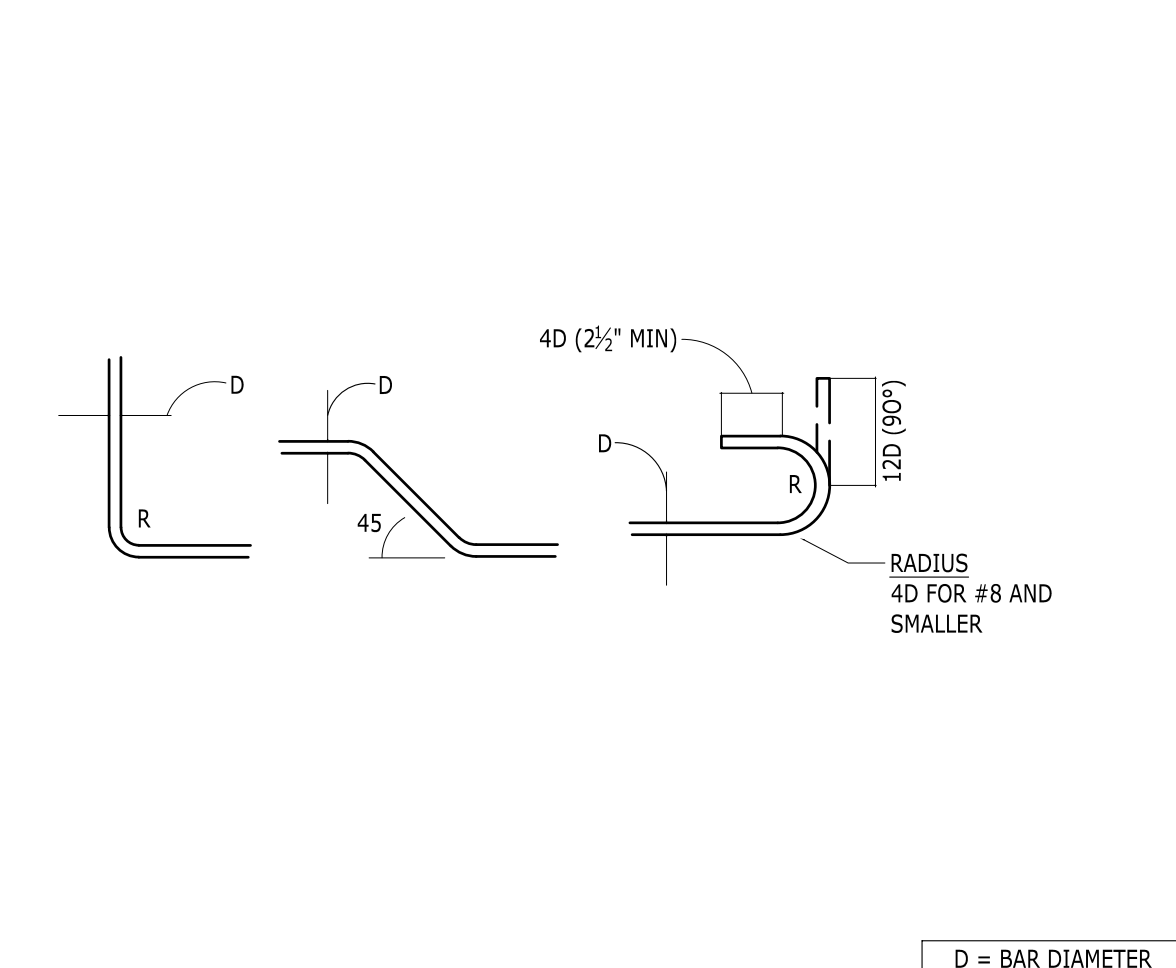
1 SILL PLATE ANCHORS



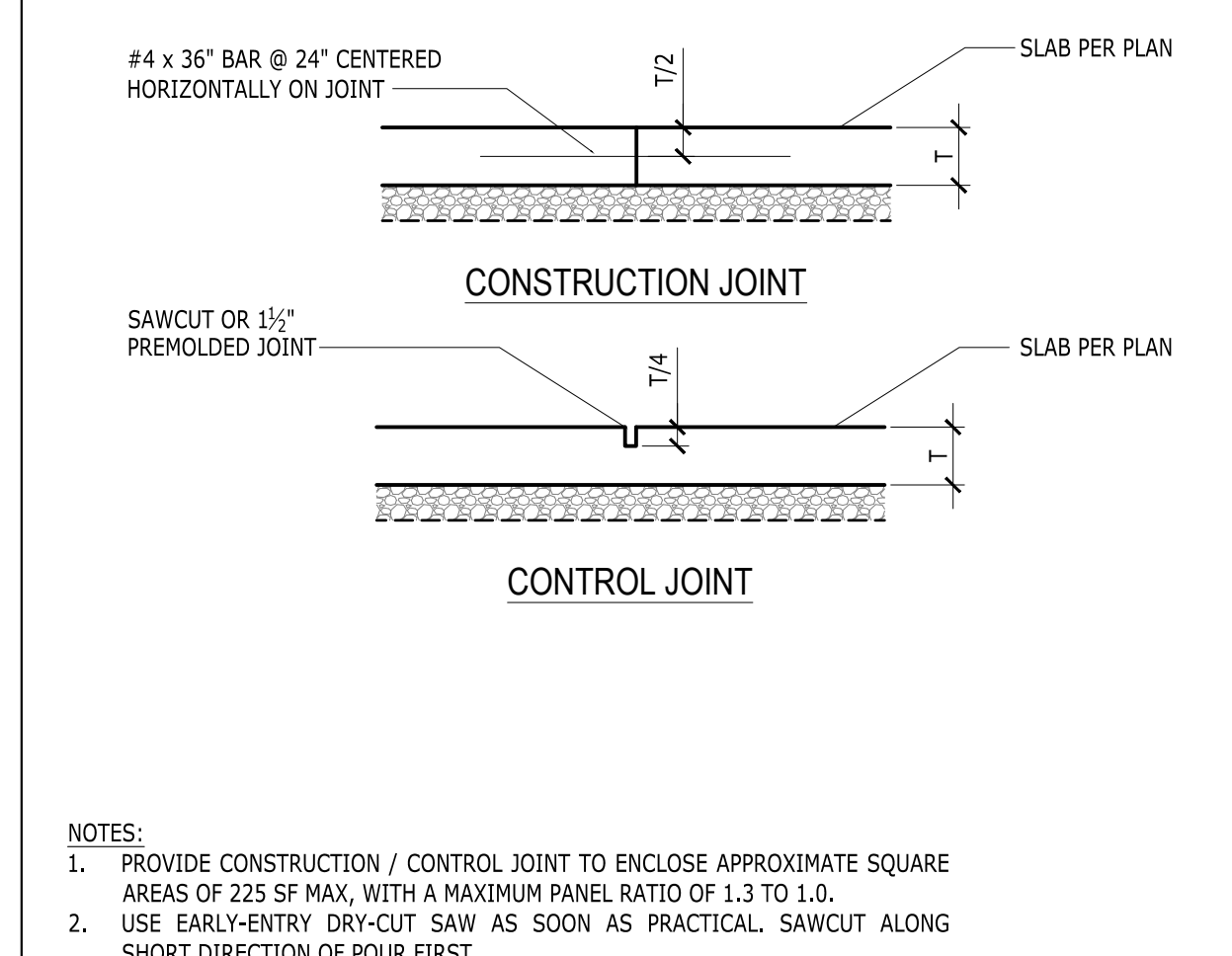
10 TYPICAL THICKENED SLAB EDGE TURN DOWN



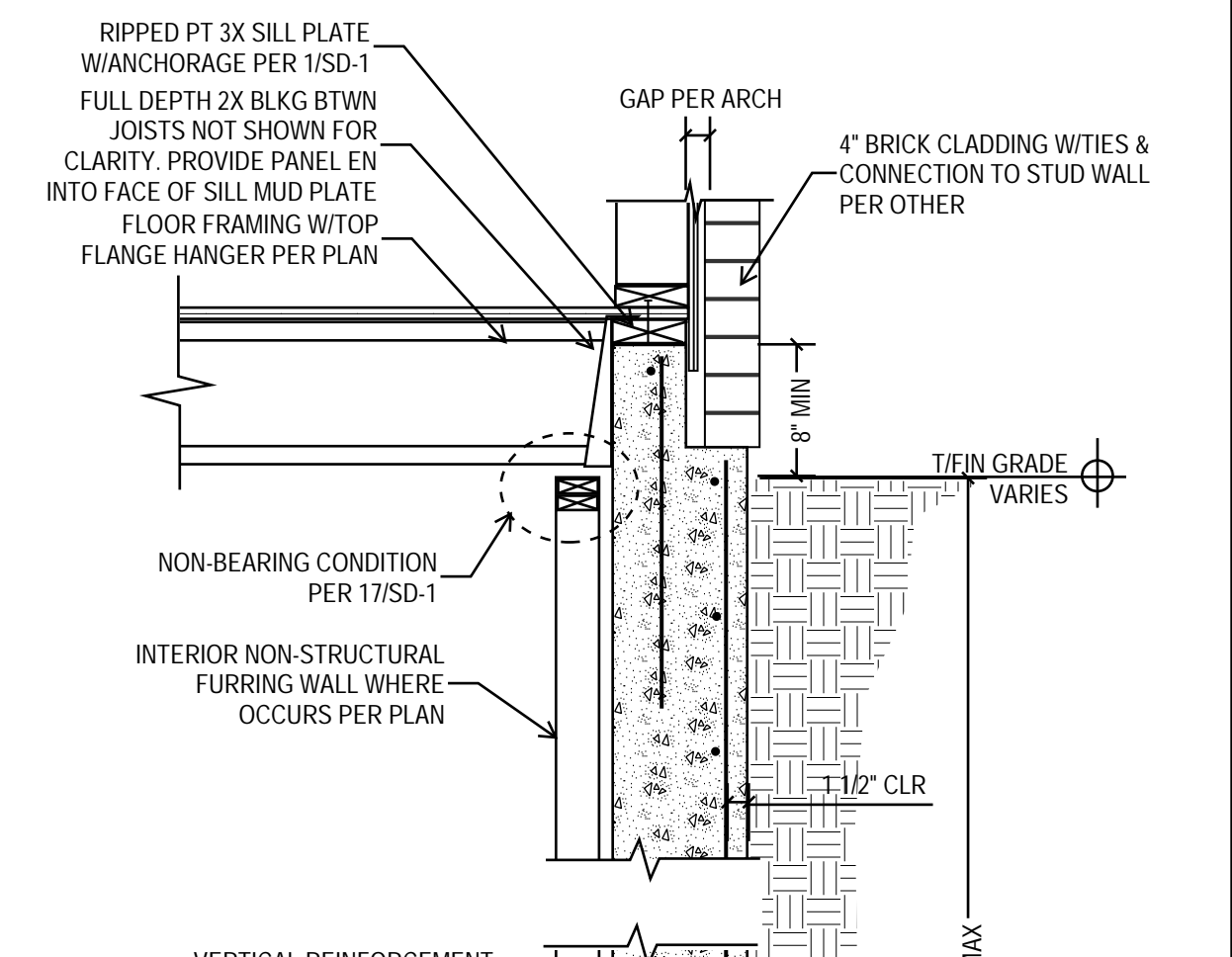
9 EXTERIOR EDGE ISOLATED FOOTING



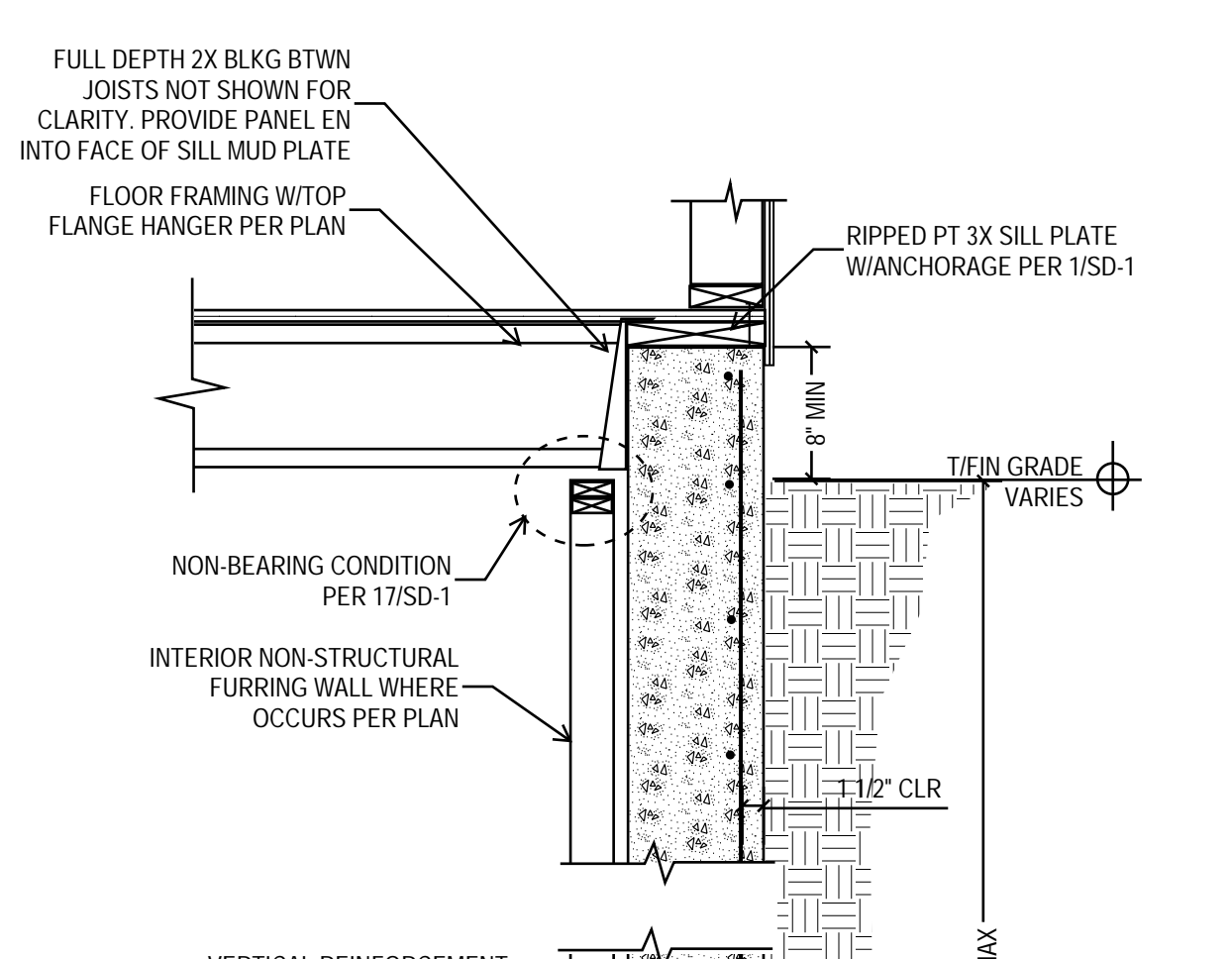
8 BAR BEND AND HOOK DETAILS



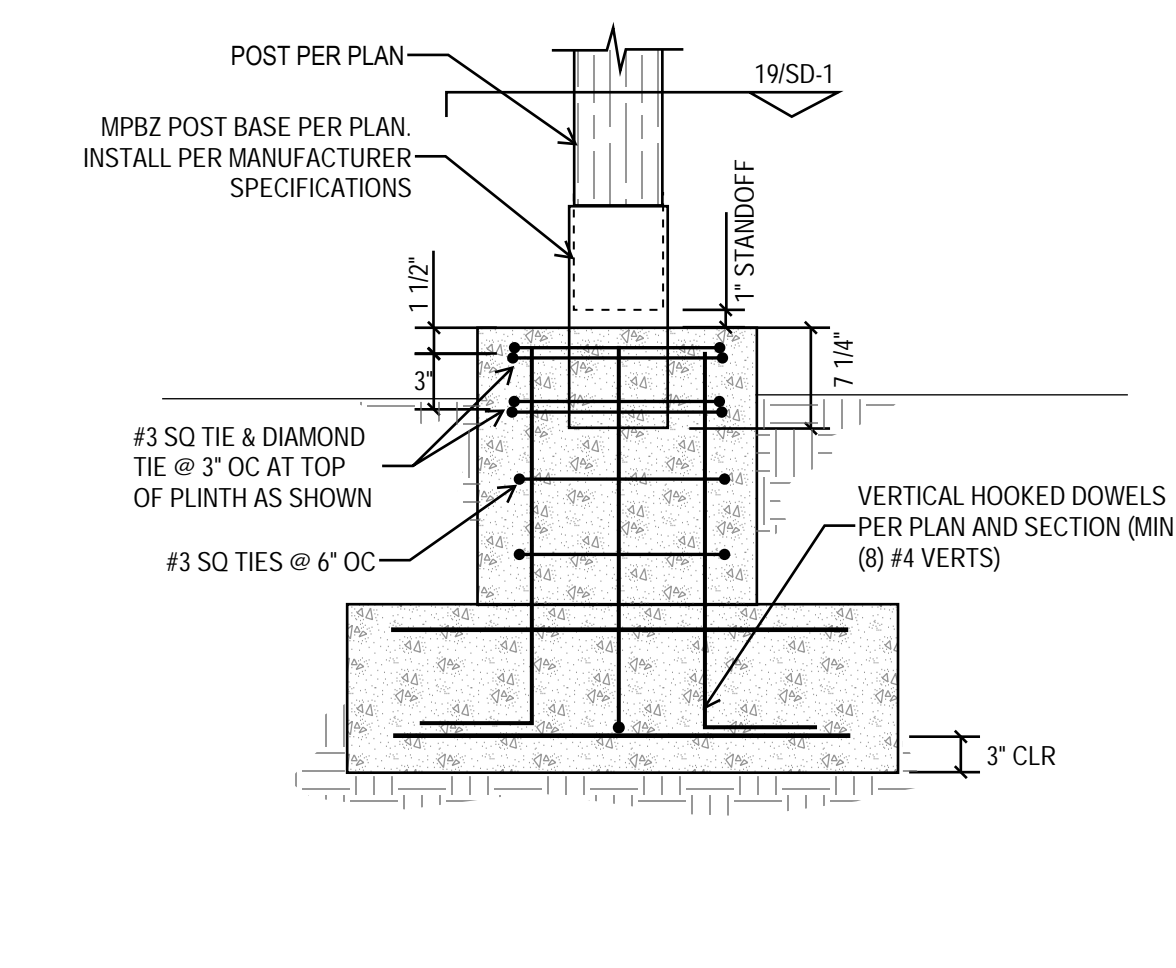
7 CONSTRUCTION/CONTROL JOINT DETAILS



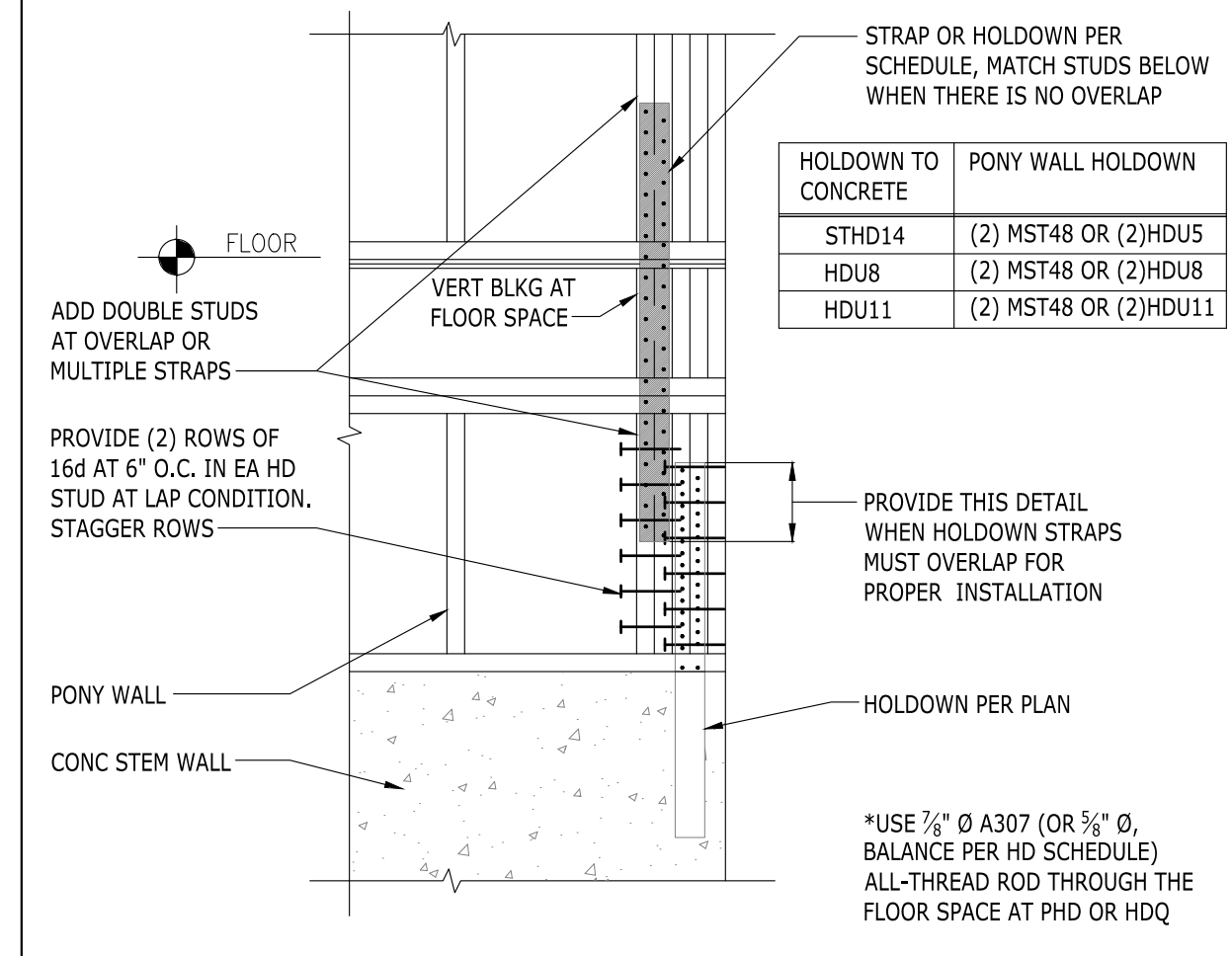
20 RETNG WALL W/BRICK (13'-0" MAX) FLUSH FLOOR



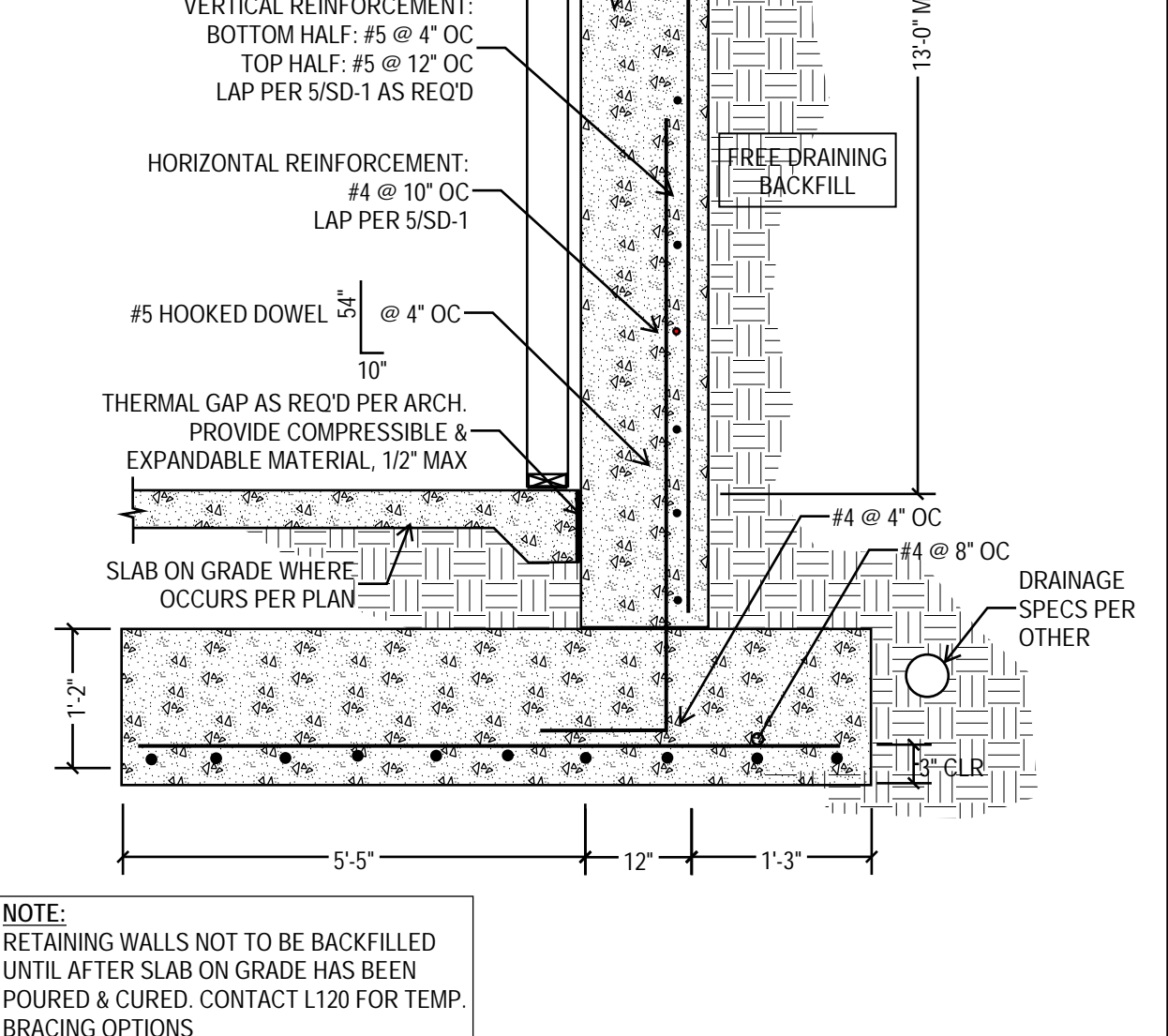
19 RETAINING WALL (13'-0" MAX) FLUSH FLOOR



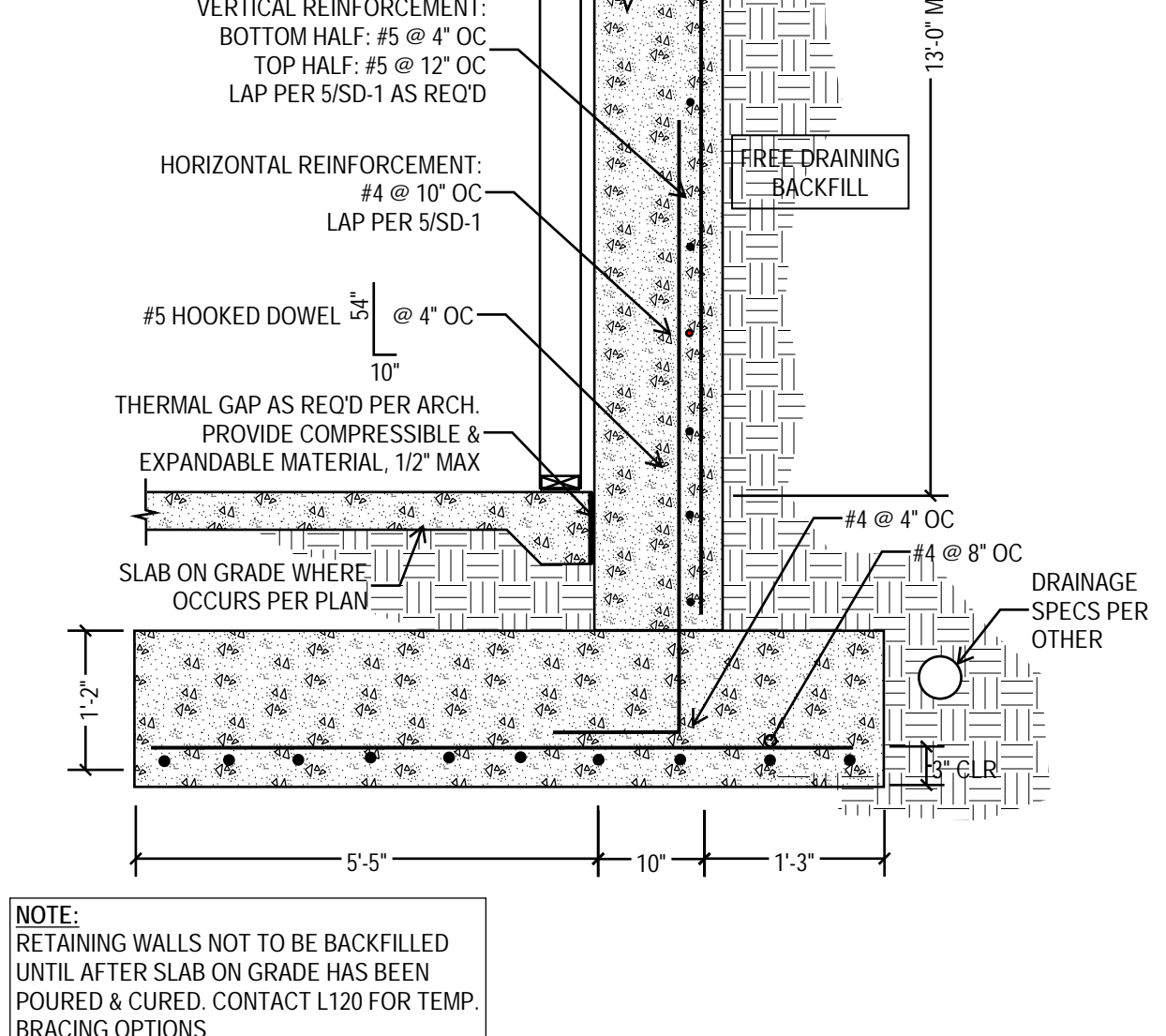
13 PLINTH AT MPBZ POST BASE



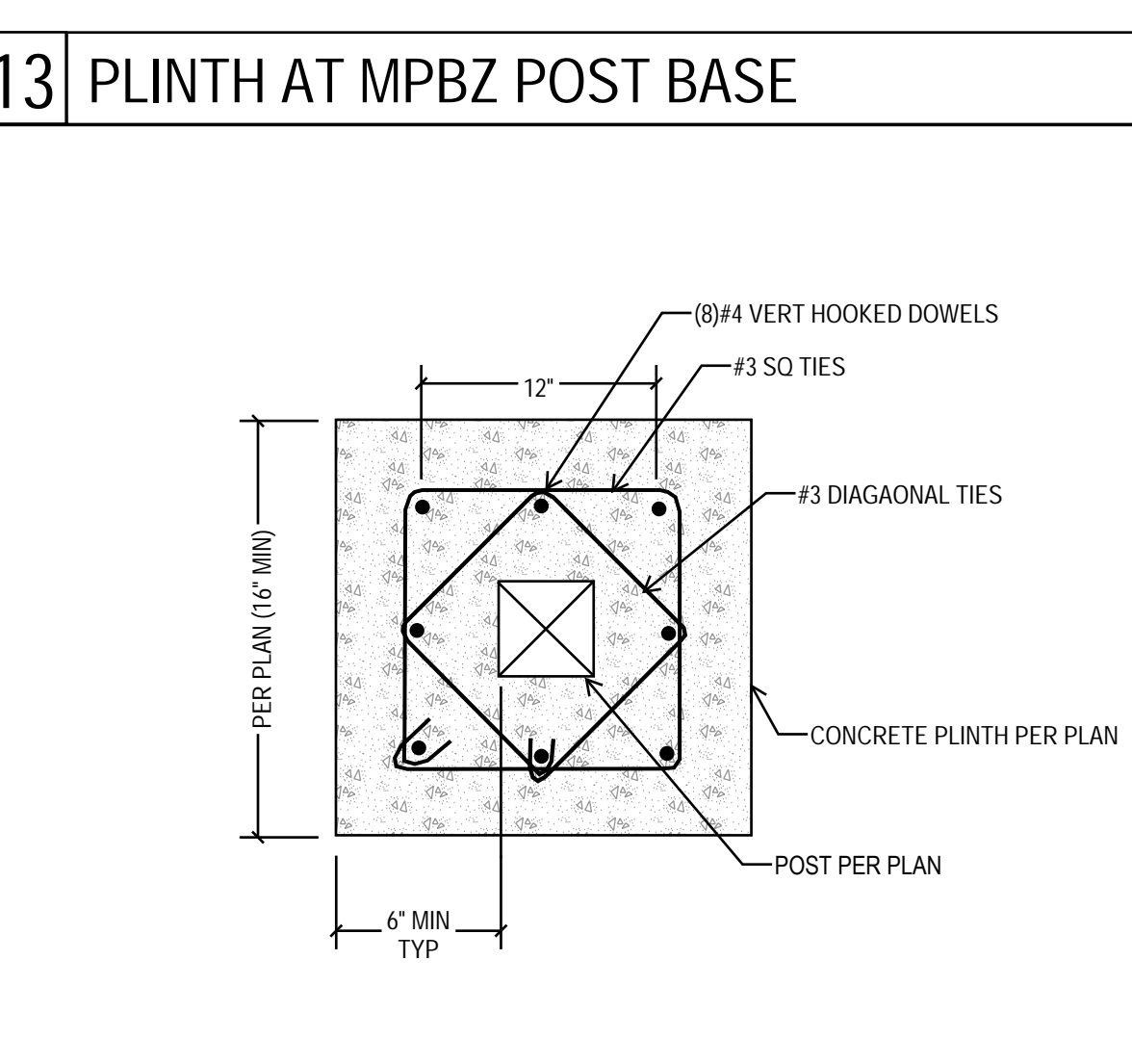
12 OVERLAP STRAP AT PONY WALL



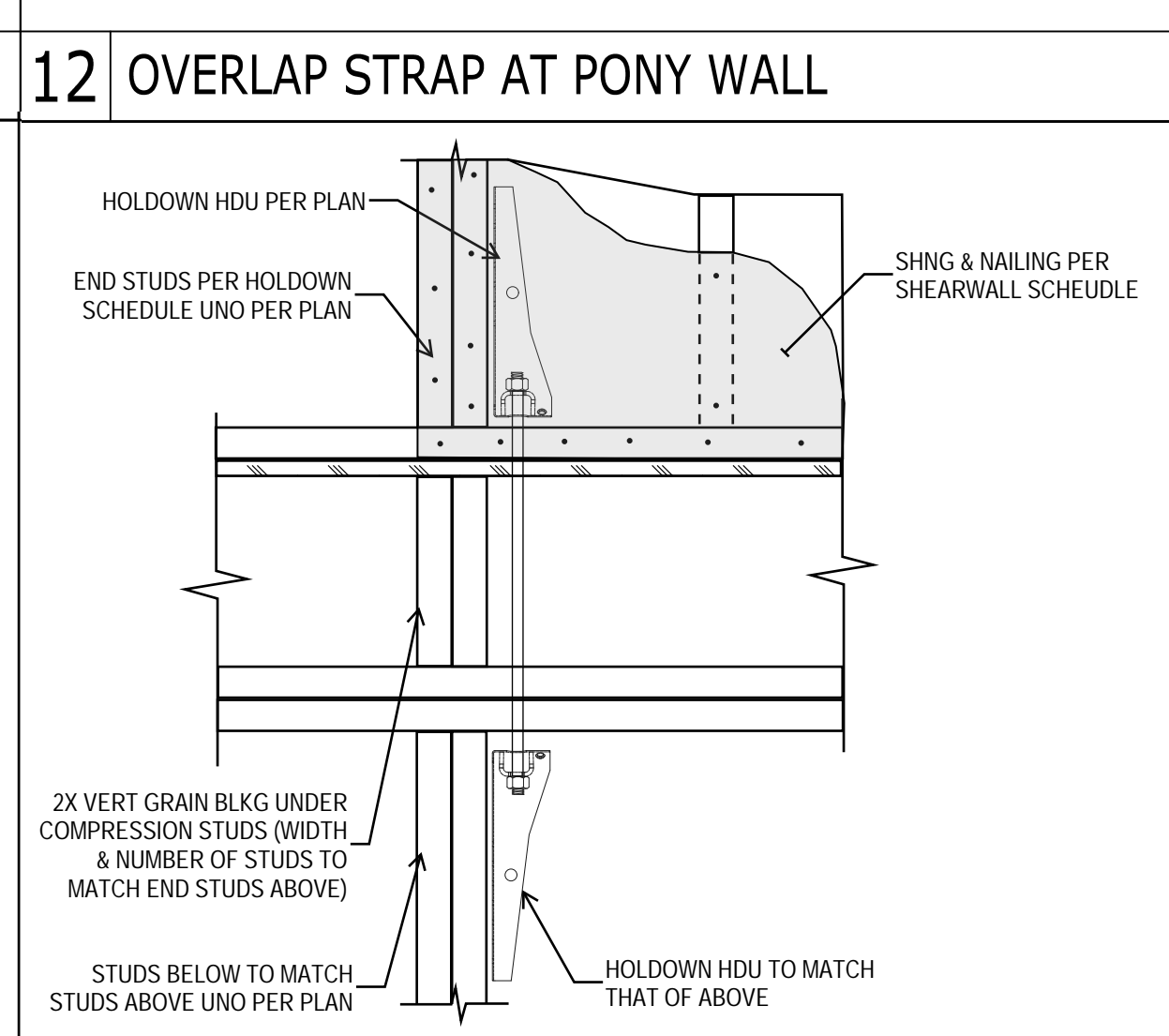
20 RETNG WALL W/BRICK (13'-0" MAX) FLUSH FLOOR



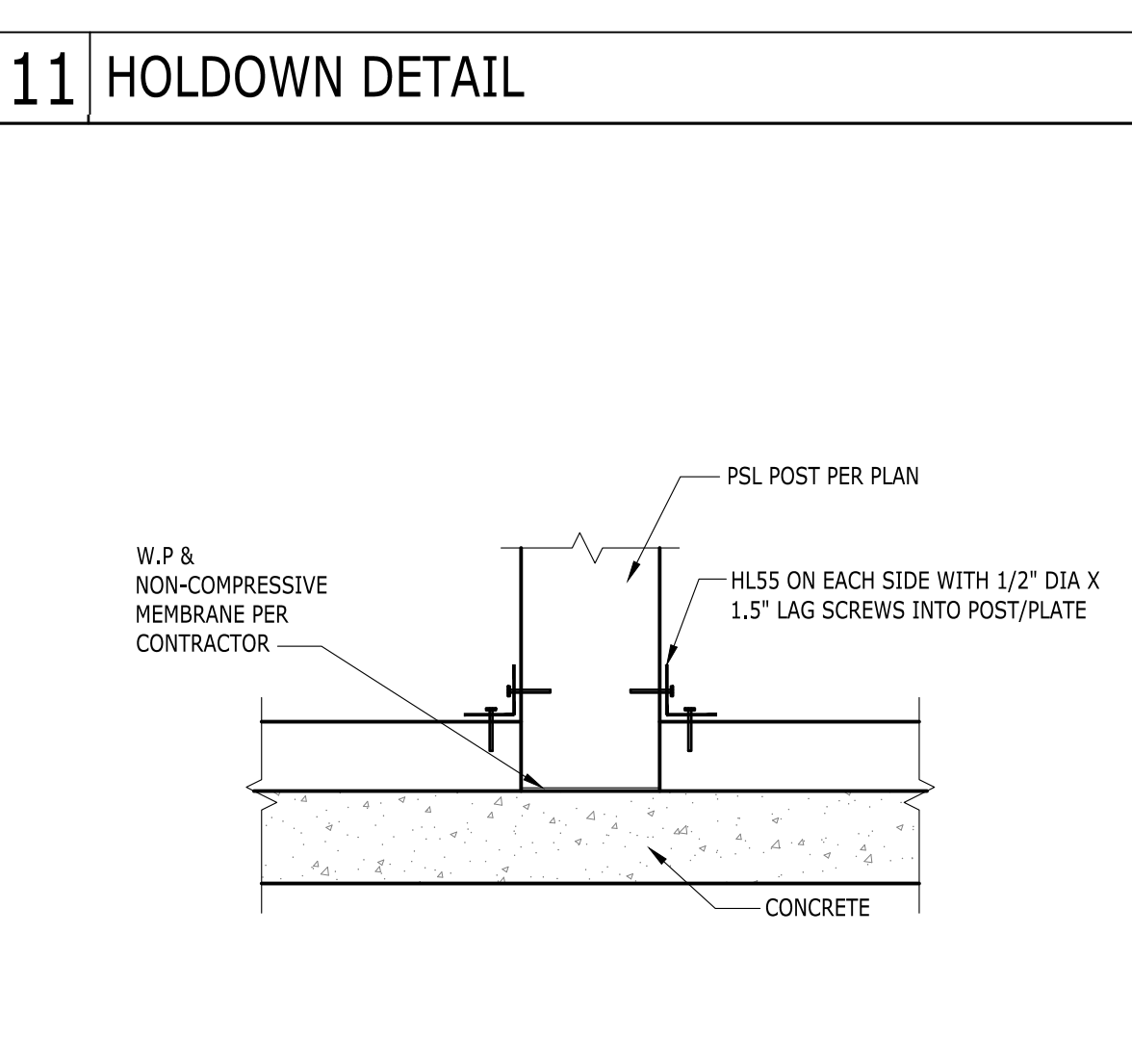
19 RETAINING WALL (13'-0" MAX) FLUSH FLOOR



13 SECTION - PLINTH AT MPBZ POST BASE



17 HOLDOWN HDU FLOOR-TO-FLOOR



16 PSL POST TO PLATE/CONCRETE DETAIL







